

**2025 Waterford School District  
s Campus Roofing Replacment  
5195 Pontiac Lake Road  
Waterford, Michigan 48327**



Project  
**2025 WATERFORD SCHOOL  
DISTRICT  
LUTES CAMPUS  
ROOFING REPLACEMENT**

**Project Location**  
**5195 PONTIAC LAKE ROAD**  
**WATERFORD, MI 48327**

**Engineer's Seal**

[illegible]

Date **07/31/2025**

**SME Project No.** **100594.00**

**Project Manager:**  
**K. DAMEROW**

Designer: **J. SITTON**

**CADD:**

**J. NICHOLS**

Checked By: **K. DAMEROW**

**Reviewed By:**

**E. MURRELL**

Sheet Name: **TITLE SHEET**

Sheet No. **G0.1**

DRAWING NOTE: SCALE DEPICTED IS MEANT FOR 24" X 36" AND WILL SCALE INCORRECTLY IF PRINTED ON ANY OTHER SIZE MEDIA

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**GENERAL NOTES:**

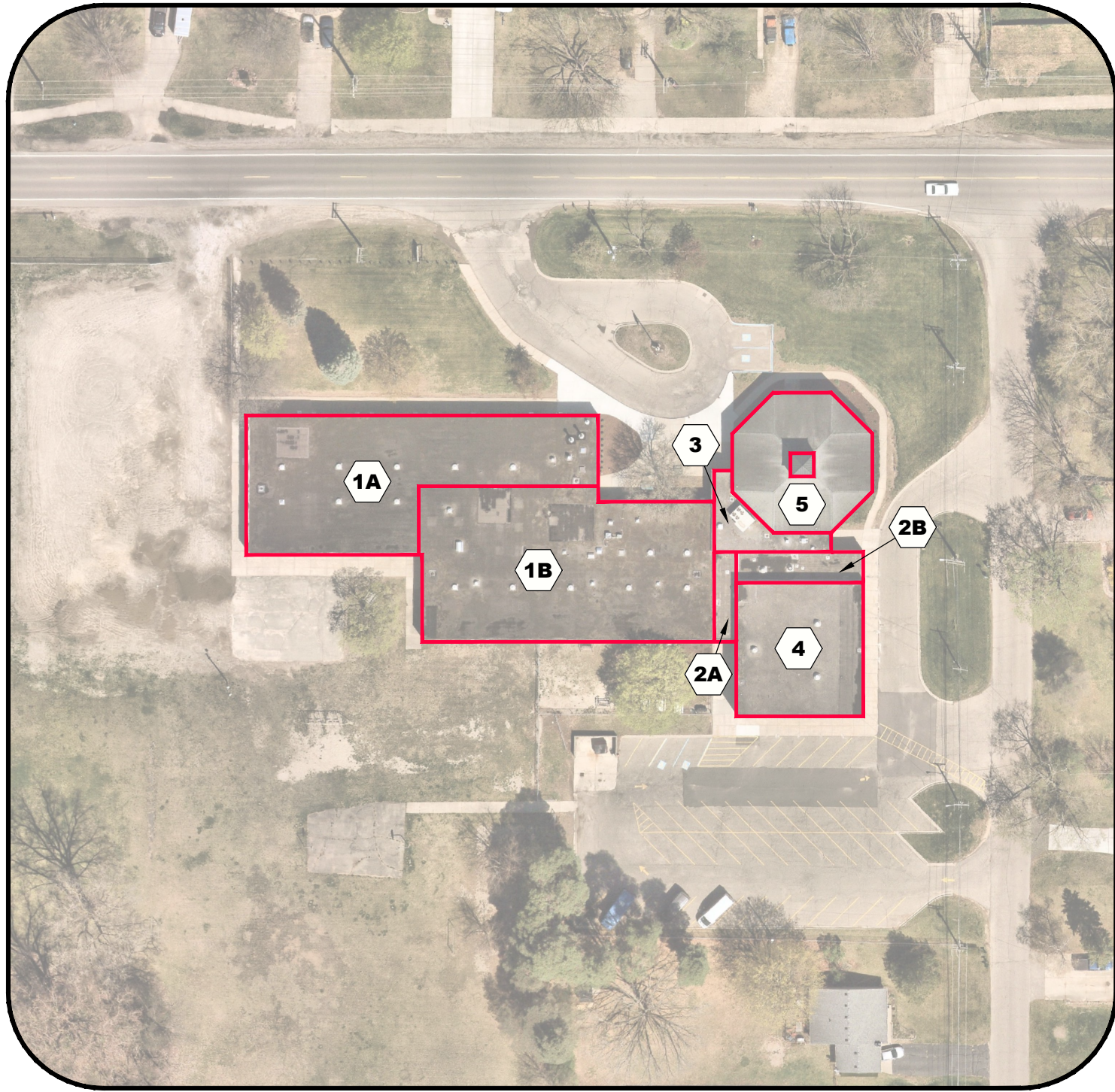
1. THE SUMMARY OF WORK CONTAINED IN THESE NOTES AND SHOWN ON THE PLANS MAY NOT INCLUDE ALL ITEMS AND ACTIVITIES NECESSARY TO COMPLETE THE WORK. IN ADDITION TO THE REQUIREMENTS SHOWN IN THE DRAWINGS, TAKE MEASURES REASONABLY NECESSARY TO PROVIDE THE DESIRED WORK RESULT AND TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING SAFETY, AND PROTECTION OF PROPERTY AND PEDESTRIANS. PROVIDE AND MAINTAIN SAFETY DEVICES IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. DIMENSIONS SHOWN ON DRAWINGS ARE BASED UPON LIMITED FIELD VERIFICATION, AND HAVE NOT BEEN COMPLETELY FIELD VERIFIED. THE OWNER AND ENGINEER TAKE NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING DIMENSIONS SHOWN ON THE DRAWINGS.
4. NOTIFY THE OWNER AND ENGINEER OF ANTICIPATED CHANGES OR ADDITIONS TO THE WORK PRIOR TO THE START OF ACTIVITIES. THE GENERAL LIMITS OF THE WORK ARE NOTED ON THE PROJECT DRAWINGS WITH WORK BOUNDARIES TO BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
5. PROMPTLY REPORT UNANTICIPATED CONDITIONS UNCOVERED THAT ARE CONTRARY TO THE DRAWINGS OR WILL ADVERSELY IMPACT THE WORK TO THE OWNER AND ENGINEER FOR ADVISEMENT.
6. PROVIDE TEMPORARY PROTECTION, BARRICADES, TEMPORARY STRUCTURES, AND OTHER MEASURES AS NEEDED TO PROTECT THE PEDESTRIAN AND VEHICULAR TRAFFIC ADJACENT TO AND IN THE VICINITY OF THE WORK AREA.
7. PROVIDE TEMPORARY PROTECTION WATERPROOFING, TIE-INS, WATER BLOCKS, AND INTERIOR PROTECTION AS NEEDED DURING THE WORK TO PREVENT LEAKAGE INTO THE BUILDING AND WATER DAMAGE TO THE INTERIOR. PROVIDE TARP AUJLINS OR PLASTIC SHEETING FOR TEMPORARY PROTECTION INSIDE THE BUILDING AS NEEDED DURING CONSTRUCTION. INTERIOR PROTECTION (SUSPENDED PLASTIC SHEETING) IS REQUIRED BENEATH ROOF AREA 4. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT INTERIOR OPERATIONS ARE NOT INTERRUPTED AND THAT INTERIOR SURFACES AND FINISHES ARE NOT DAMAGED BY ROOFING REPLACEMENT OPERATIONS BENEATH EACH ROOF AREA. FOLLOWING ROOFING REPLACEMENT, REMOVE PLASTIC SHEETING AND CLEAN INTERIOR SURFACES TO PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO OWNER.
8. PROVIDE TEMPORARY PROTECTION OF EXISTING EQUIPMENT DURING THE WORK, SATISFYING OWNER'S REQUIREMENTS. RESTORE EXISTING EQUIPMENT, BUILDING COMPONENTS, SIDEWALKS, AND GROUNDS DAMAGED DURING THIS WORK TO ORIGINAL CONDITION OR REPLACE WITH NEW MATERIALS AS DIRECTED BY THE OWNER. DAMAGED EQUIPMENT/COMPONENTS WILL BE REPLACED AT NO COST TO THE OWNER.
9. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR DELIVERY, STORAGE, MIXING, SURFACE PREPARATION, APPLICATION, AND CURING OF MATERIALS USED FOR RESTORATION WORK.
10. SECURE SITE STAGING AREA FOR STORAGE TO BE COORDINATED WITH OWNER PRIOR TO BEGINNING WORK.
11. STORAGE OF MATERIALS INSIDE THE BUILDING IS PROHIBITED. DO NOT STORE FLAMMABLE MATERIALS ON THE ROOFS OR IN THE STAGING AREA. REMOVE FLAMMABLE MATERIALS FROM THE SITE AND SECURELY STORE THEM AT THE END OF EACH WORK DAY.
12. TAKE DUE CARE AND CAUTION TO AVOID TRACKING DUST, DEBRIS, OR LOOSE MATERIALS TO AREAS OUTSIDE OF THE CONSTRUCTION AREA. REMOVE MATERIALS TRACKED TO AREAS OUTSIDE OF THE CONSTRUCTION AREA AS SOON AS POSSIBLE, AT NO ADDITIONAL COST TO THE OWNER. CONDUCT AN INSPECTION AT THE END OF EACH WORK DAY OF THE PROJECT AREA AND TAKE STEPS TO ENSURE THAT THE ENTIRE WORK AREA IS CLEAN. THIS REQUIREMENT INCLUDES DEBRIS FROM THE CONTRACTOR'S EMPLOYEES EATING LUNCH OR ON BREAKS.
13. REMOVE WASTE MATERIALS AND DEBRIS RESULTING FROM THE WORK FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.
14. REMOVE STAINING/CONTAMINANTS FROM BUILDING SURFACES AND THE GROUNDS, INCLUDING SPILLED OR SMEARED SEALANTS, BITUMINOUS MATERIALS, GASOLINE AND FUEL SPILLS, AND HYDRAULIC LEAKAGE FROM THE EQUIPMENT USED ONSITE.
15. PROVIDE PROTECTION OF SIDEWALKS OR OTHER PAVEMENTS AGAINST BREAKAGE DUE TO MANLIFT USE OR OTHER EQUIPMENT. RESTORE DAMAGED SIDEWALKS AND PAVEMENTS TO PRE-PROJECT CONDITIONS.
16. MAINTAIN UP-TO-DATE SET OF PROJECT DOCUMENTS AT THE JOB-SITE. KEEP ACCURATE AND LEGIBLE RECORDS OF CHANGES TO THE WORK THAT OCCUR DURING CONSTRUCTION AND INFORMATION ON 'AS-BUILT' EXISTING OR CONSTRUCTED CONDITIONS. KEEP RECORDS OF CHANGES AND AS-BUILT CONDITIONS DOCUMENTED ON A SET OF DRAWINGS TO BE PROVIDED TO THE ENGINEER AT CONSTRUCTION COMPLETION.
17. UPON COMPLETION OF THE WORK, CLEAR THE ENTIRE SITE OF EQUIPMENT, UNUSED MATERIALS, AND RUBBISH. RESTORE DISTURBED AREAS TO THE SATISFACTION OF THE OWNER.

## SCOPE OF WORK:

1. REMOVE AND REPLACE ROOFING ASSEMBLY ON EACH ROOF WITH NEW FULLY ADHERED, BLACK, 45 MIL EPDM MEMBRANE, INSULATION, PERIMETER FLASHINGS, EDGE METAL FLASHINGS, 15-YEAR ROOFING MANUFACTURER'S WARRANTY, AND 2-YEAR CONTRACTOR'S WARRANTY.
2. REPLACE DETERIORATED WOOD BLOCKING TO MATCH EXISTING.
3. ADD WOOD BLOCKING ON CURBS AND PERIMETERS TO ACCOMMODATE NEW INSULATION HEIGHTS.
  - A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE NUMBER OF NAILERS REQUIRED AT CURBS TO PROVIDE A MINIMUM OF 8-INCHES FLASHING HEIGHT.
5. PROVIDE LICENSED ELECTRICAL OR HVAC SUBCONTRACTORS TO DISCONNECT AND RECONNECT MECHANICAL UNITS, ADJUST OR RELOCATE UTILITIES, AND RAISE CURBS, AT NO ADDITIONAL COST TO THE OWNER. IN-PLACE SYSTEMS SHALL ACCOMMODATE NEW INSULATION THICKNESSES AND MEET WARRANTY REQUIREMENTS FOR FLASH HEIGHT BY ROOFING MANUFACTURER.
6. ALL MECHANICAL UNITS AND UTILITIES MUST BE OPERATIONAL AND DRAINS FREE-FLOWING AT THE COMPLETION OF THE PROJECT. THIS INCLUDES CONDUITS DAMAGED BY SCREWS OR OTHER ITEMS THAT MAY DAMAGE UTILITIES.
7. WORK TO BE COMPLETED IN ACCORDANCE WITH LOCAL CODES AND JURISDICTION(S) OF AUTHORITY. DO NOT SHUT OFF OR INHIBIT UTILITY SERVICES WITHOUT NOTIFYING OWNER'S REPRESENTATIVE IN ADVANCE.
8. ASBESTOS WAS DETECTED IN EXISTING ROOFING SYSTEMS ON ROOF AREAS 2A, 2B, AND 4, REFER TO SPECIFICATION SECTION 003126, EXISTING HAZARDOUS MATERIAL INFORMATION. PERFORM EXISTING ROOFING REMOVAL IN ACCORDANCE WITH ROOFING SETTLEMENT AGREEMENT PURSUANT EPA/OSHA/NRCA.

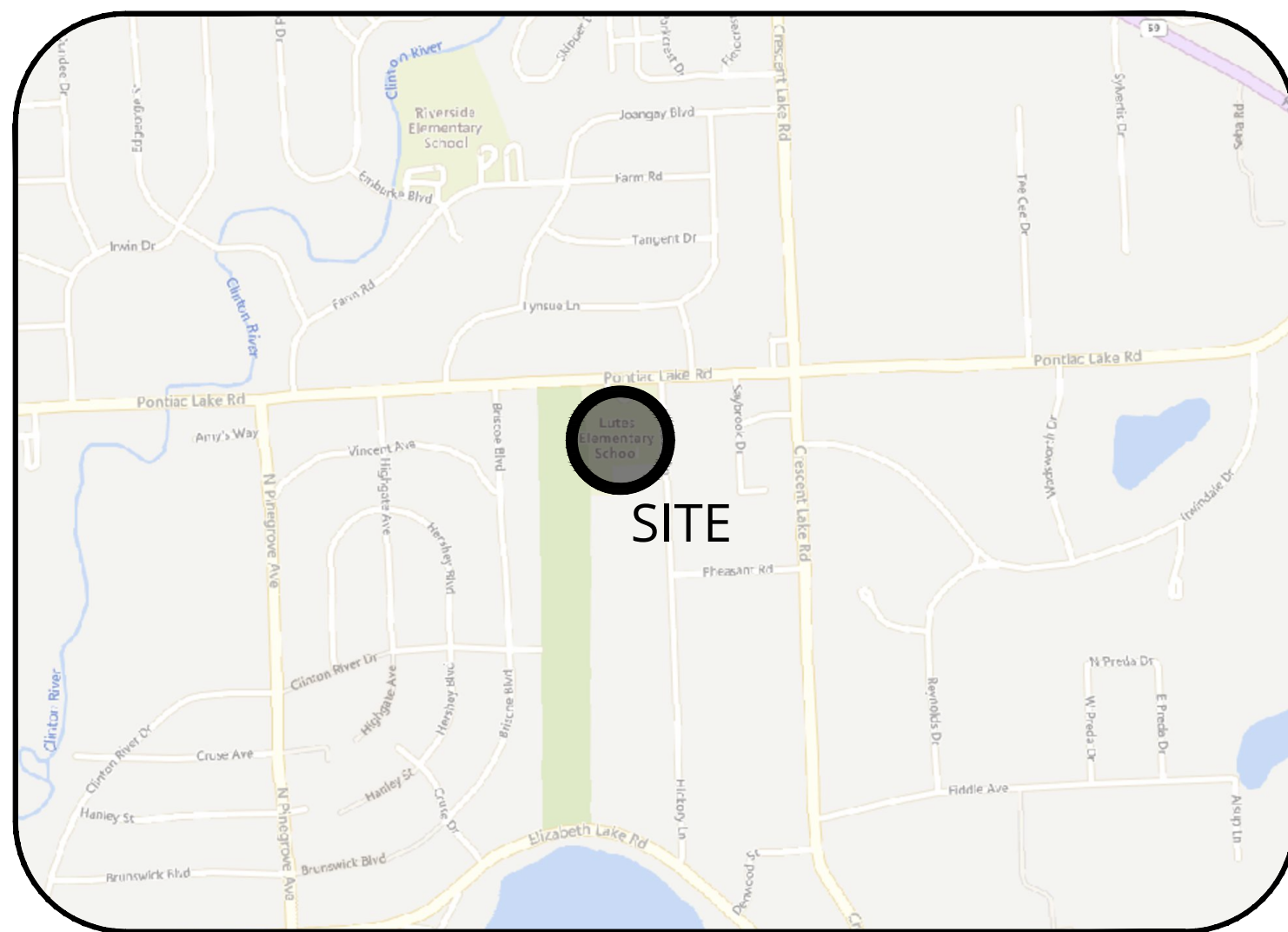
## ABBREVIATION INDEX

DIA	DIAMETER
EX	EXISTING
GA	GAUGE
MAX	MAXIMUM
MIN	MINIMUM
OC	ON CENTER
SIM	SIMILAR
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD



# OVERALL SITE PLAN

NOT TO SCALE



**LOCATION MAP**  
NOT TO SCALE

## ENGINEER

SME  
43980 PLYMOUTH OAKS BLVD.  
PLYMOUTH, MI 48170

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SME PROJECT NO. 100594.00

**OWNER / CLIENT**

WATERFORD SCHOOL DISTRICT  
501 N. CASS LAKE ROAD  
WATERFORD, MI 48328

OWNER REPRESENTATIVE : MR. SIDNEY TIPPETT  
PHONE: 248-674-3193  
EMAIL: TIPPE01@WSDMI.ORG

## APPLICABLE CODES

2021 MICHIGAN REHABILITATION CODE

## LIST OF DRAWINGS

SHEET NO.	SHEET TITLE
G0.1	TITLE SHEET
G1.1	ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 1A, 1B, 2A, 2B, 3, 4, AND 5
A1.1	ROOF PLAN AREAS 1A, 1B, 2A, 2B, 3, 4, AND 5
A5.1	FLASHING DETAILS
A5.2	FLASHING DETAILS
A5.3	FLASHING DETAILS

PLOT DATE: July 30, 2025 - 1:28 PM - jason.nicholes  
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SCALE: 1/16" = 1'-0"

NOTE:  
" - # " INDICATES PRESSURE ACTING AWAY FROM THE ROOF SURFACE, I.E. SUCTION

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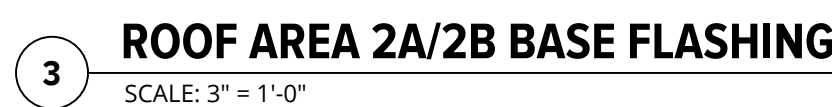






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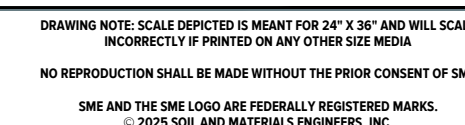
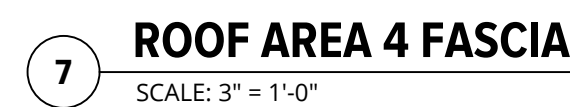


**1A** **ROOF AREA 1A/1B FASCIA**  
SCALE: 3" = 1'-0"

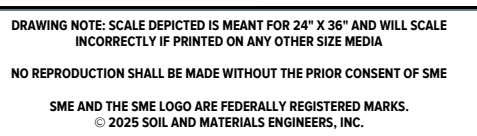
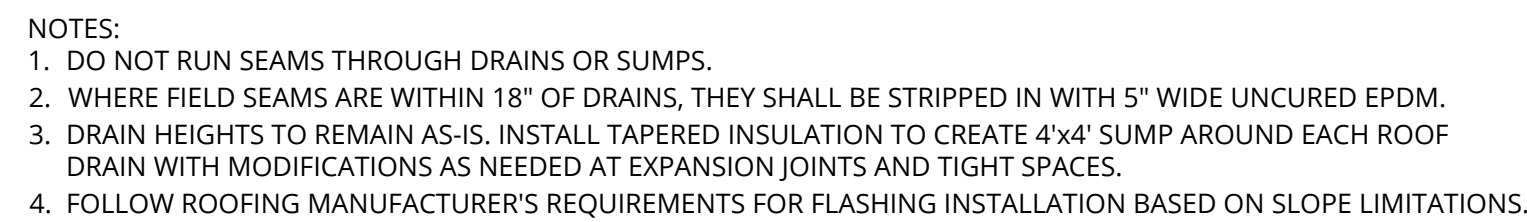
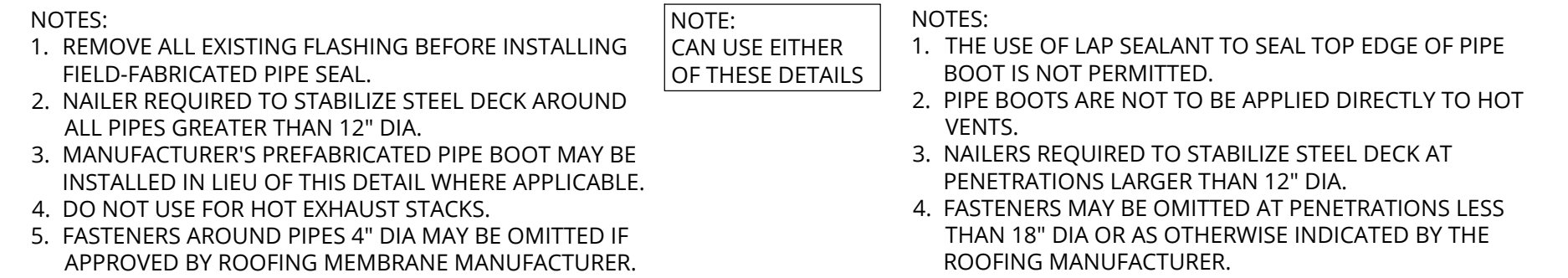
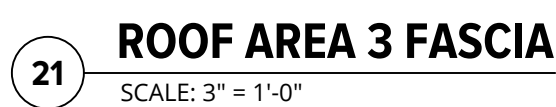


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