

**2026 Waterford School District  
Transportation Building and Mason Middle School  
Roofing Replacement  
Waterford, Michigan**



**Project**  
**2026 WATERFORD SCHOOL**  
**DISTRICT TRANSPORTATION**  
**BUILDING AND MASON**  
**MIDDLE SCHOOL ROOFING**  
**REPLACEMENT**

**Project Location**  
**4585 PONTIAC LAKE ROAD**  
**WATERFORD, MI 48328**

**3835 W WALTON BLVD  
WATERFORD, MI 48329**

**Engineer's Seal**

[illegible]

Date **12/12/2025**

SME Project No.	101547.00
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**Project Manager:**  
**K. DAMEROW**

**Designer:**

**K. DAMEROW**

**CADD:**

**J. NICHOLS**

Checked By: **A. CASSIDY**

Reviewed By:

**E. MURRELL**

Sheet Name: **TITLE SHEET**

Sheet No.

## G0.1

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**GENERAL NOTES:**

1. THE SUMMARY OF WORK CONTAINED IN THESE NOTES AND SHOWN ON THE PLANS MAY NOT INCLUDE ALL ITEMS AND ACTIVITIES NECESSARY TO COMPLETE THE WORK. IN ADDITION TO THE REQUIREMENTS SHOWN IN THE DRAWINGS, TAKE MEASURES REASONABLY NECESSARY TO PROVIDE THE DESIRED WORK RESULT AND TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING SAFETY, AND PROTECTION OF PROPERTY AND PEDESTRIANS. PROVIDE AND MAINTAIN SAFETY DEVICES IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. DIMENSIONS SHOWN ON DRAWINGS ARE BASED UPON LIMITED FIELD VERIFICATION, AND HAVE NOT BEEN COMPLETELY FIELD VERIFIED. THE OWNER AND ENGINEER TAKE NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING DIMENSIONS SHOWN ON THE DRAWINGS.
4. NOTIFY THE OWNER AND ENGINEER OF ANTICIPATED CHANGES OR ADDITIONS TO THE WORK PRIOR TO THE START OF ACTIVITIES. THE GENERAL LIMITS OF THE WORK ARE NOTED ON THE PROJECT DRAWINGS WITH WORK BOUNDARIES TO BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
5. PROMPTLY REPORT UNANTICIPATED CONDITIONS UNCOVERED THAT ARE CONTRARY TO THE DRAWINGS OR WILL ADVERSELY IMPACT THE WORK TO THE OWNER AND ENGINEER FOR ADJUDICATION.
6. PROVIDE TEMPORARY PROTECTION, BARRICADES, TEMPORARY STRUCTURES, AND OTHER MEASURES AS NEEDED TO PROTECT THE PEDESTRIAN AND VEHICULAR TRAFFIC ADJACENT TO AND IN THE VICINITY OF THE WORK AREA.
7. PROVIDE TEMPORARY PROTECTION WATERPROOFING, TIE-INS, WATER BLOCKS, AND INTERIOR PROTECTION AS NEEDED DURING THE WORK TO PREVENT LEAKAGE INTO THE BUILDING AND WATER DAMAGE TO THE INTERIOR. PROVIDE TARPULINS OR PLASTIC SHEETING FOR TEMPORARY PROTECTION INSIDE THE BUILDING AS NEEDED DURING CONSTRUCTION. INTERIOR PROTECTION (SUSPENDED PLASTIC SHEETING) IS REQUIRED BENEATH THE ROOF DECK IN ROOF AREA 3, ROOF AREA 4, AND OVER THE STAGE IN ROOF AREA 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT INTERIOR OPERATIONS ARE NOT INTERRUPTED AND THAT INTERIOR SURFACES AND FINISHES ARE NOT DAMAGED BY ROOFING REPLACEMENT OPERATIONS BENEATH EACH ROOF AREA. FOLLOWING ROOFING REPLACEMENT, REMOVE PLASTIC SHEETING AND CLEAN INTERIOR SURFACES TO PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO OWNER.
8. PROVIDE TEMPORARY PROTECTION OF EXISTING EQUIPMENT DURING THE WORK, SATISFYING OWNER'S REQUIREMENTS. RESTORE EXISTING EQUIPMENT, BUILDING COMPONENTS, SIDEWALK, AND GROUNDS DAMAGED DURING THIS WORK TO ORIGINAL CONDITION OR REPLACE WITH NEW MATERIALS AS DIRECTED BY THE OWNER. DAMAGED EQUIPMENT/COMPONENTS WILL BE REPLACED AT NO COST TO THE OWNER.
9. INSTALL TEMPORARY PROTECTION INCLUDING MINIMUM 2" THICK POLYISOYANURATE INSULATION TOPPED WITH 1/2" PLYWOOD AND UNREINFORCED EPDM OVER EXISTING ROOFING ASSEMBLIES ADJACENT TO ROOF AREA 1. REMOVE, REPLACE, PATCH, AND REPAIR MATERIALS AND SURFACES CUT OR DAMAGED DURING ROOFING, BY METHODS AND WITH MATERIALS SO AS NOT TO VOID EXISTING ROOFING SYSTEM WARRANTY.
10. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR DELIVERY, STORAGE, MIXING, SURFACE PREPARATION, APPLICATION, AND CURING OF MATERIALS USED FOR RESTORATION WORK.
11. SECURE SITE STAGING AREA FOR STORAGE TO BE COORDINATED WITH OWNER PRIOR TO BEGINNING WORK.
12. STORAGE OF MATERIALS INSIDE THE BUILDING IS PROHIBITED. DO NOT STORE FLAMMABLE MATERIALS ON THE ROOFS OR IN THE STAGING AREA. REMOVE FLAMMABLE MATERIALS FROM THE SITE AND SECURELY STORE THEM AT THE END OF EACH WORK DAY.
13. TAKE DUE CARE AND CAUTION TO AVOID TRACKING DUST, DEBRIS, OR LOOSE MATERIALS TO AREAS OUTSIDE OF THE CONSTRUCTION AREA. REMOVE MATERIALS TRACKED TO AREAS OUTSIDE OF THE CONSTRUCTION AREA AS SOON AS POSSIBLE, AT NO ADDITIONAL COST TO THE OWNER. CONDUCT AN INSPECTION AT THE END OF EACH WORK DAY OF THE PROJECT AREA AND TAKE STEPS TO ENSURE THAT THE ENTIRE WORK AREA IS CLEAN. THIS REQUIREMENT INCLUDES DEBRIS FROM THE CONTRACTOR'S EMPLOYEES EATING LUNCH OR ON BREAKS.
14. REMOVE WASTE MATERIALS AND DEBRIS RESULTING FROM THE WORK FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.
15. REMOVE STAINING/CONTAMINANTS FROM BUILDING SURFACES AND THE GROUNDS, INCLUDING SPILLED OR SMEARED SEALANTS, BITUMINOUS MATERIALS, GASOLINE AND FUEL SPILLS, AND HYDRAULIC LEAKAGE FROM THE EQUIPMENT USED ONSITE.
16. PROVIDE PROTECTION OF SIDEWALKS OR OTHER PAVEMENTS AGAINST BREAKAGE DUE TO MANLIFT USE OR OTHER EQUIPMENT. RESTORE DAMAGED SIDEWALKS AND PAVEMENTS TO PRE-PROJECT CONDITIONS.
17. MAINTAIN UP-TO-DATE SET OF PROJECT DOCUMENTS AT THE JOB-SITE. KEEP ACCURATE AND LEGIBLE RECORDS OF CHANGES TO THE WORK THAT OCCUR DURING CONSTRUCTION AND INFORMATION ON 'AS-BUILT' EXISTING OR CONSTRUCTED CONDITIONS. KEEP RECORDS OF CHANGES AND AS-BUILT CONDITIONS DOCUMENTED ON A SET OF DRAWINGS TO BE PROVIDED TO THE ENGINEER AT CONSTRUCTION COMPLETION.
18. UPON COMPLETION OF THE WORK, CLEAR THE ENTIRE SITE OF EQUIPMENT, UNUSED MATERIALS, AND RUBBISH. RESTORE DISTURBED AREAS TO THE SATISFACTION OF THE OWNER.

**SCOPE OF WORK:**

1. REMOVE AND REPLACE ROOFING ASSEMBLY ON EACH ROOF WITH NEW FULLY ADHERED, BLACK, 60-MIL EPDM MEMBRANE, INSULATION, PERIMETER FLASHINGS, EDGE METAL FLASHINGS, 20-YEAR ROOFING MANUFACTURER'S WARRANTY, AND 2-YEAR CONTRACTOR'S WARRANTY. EDGE METAL TO BE INCLUDED IN ROOFING MANUFACTURER'S 20-YEAR WARRANTY.
2. REPLACE EACH DRAIN AS INDICATED ON PROJECT DRAWINGS AND SPECIFICATIONS.
3. REPLACE DETERIORATED WOOD BLOCKING TO MATCH EXISTING.
4. ADD WOOD BLOCKING ON CURBS AND PERIMETERS TO ACCOMMODATE NEW INSULATION HEIGHTS.
  - A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE NUMBER OF NAILERS REQUIRED AT CURBS TO PROVIDE A MINIMUM OF 8-INCHES FLASHING HEIGHT.
5. PROVIDE LICENSED ELECTRICAL, PLUMBING, AND/OR MECHANICAL SUBCONTRACTORS TO DISCONNECT/RECONNECT MECHANICAL UNITS, ABANDON MECHANICAL UNITS/VENTS, REPLACE MECHANICAL VENTS, ADJUST OR RELOCATE UTILITIES, REPLACE DRAINS AND RESPECTIVE PIPING, AND RAISE CURBS. IN-PLACE SYSTEMS SHALL ACCOMMODATE NEW INSULATION THICKNESSES AND MEET WARRANTY REQUIREMENTS FOR FLASH HEIGHT BY ROOFING MANUFACTURER.
6. ALL MECHANICAL UNITS AND UTILITIES MUST BE OPERATIONAL AND DRAINS FREE-FLOWING AT THE COMPLETION OF THE PROJECT. THIS INCLUDES CONDUITS DAMAGED BY SCREWS OR OTHER ITEMS THAT MAY DAMAGE UTILITIES.
7. WORK TO BE COMPLETED IN ACCORDANCE WITH LOCAL CODES AND JURISDICTION(S) OF AUTHORITY. DO NOT SHUT OFF OR INHIBIT UTILITY SERVICES WITHOUT NOTIFYING OWNER'S REPRESENTATIVE IN ADVANCE.

## ABBREVIATION INDEX

DIA	DIAMETER
GA	GAUGE
MIN	MINIMUM
MAX	MAXIMUM
OC	ON CENTER
SIM	SIMILAR
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD

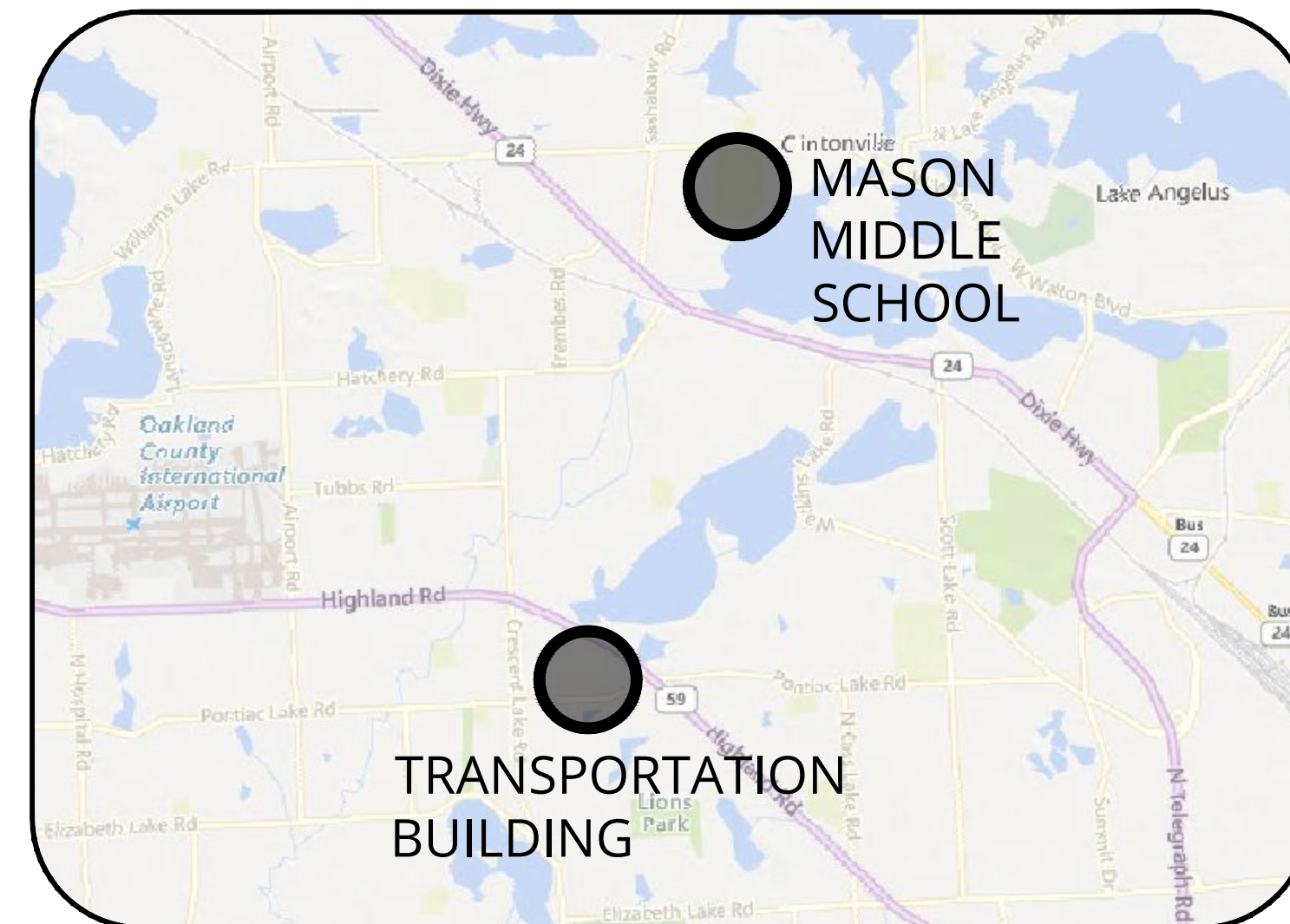


## SITE PLAN - TRANSPORTATION BUILDING



# SITE PLAN - MASON MIDDLE SCHOOL

NOT TO SCALE



### LOCATION MAP

NOT TO SCALE

## ENGINEER

SME  
43980 PLYMOUTH OAKS BLVD.  
PLYMOUTH, MI 48170

CONTACT: KYLE DAMEROW, PE, RRC  
PHONE: 734.454.9900  
EMAIL: KYLE.DAMEROW@SME-USA.COM

[www.sme-usa.com](http://www.sme-usa.com)

SME PROJECT NO. 101547.00

## APPLICABLE CODES

2021 MICHIGAN REHABILITATION CODE

## LIST OF DRAWINGS

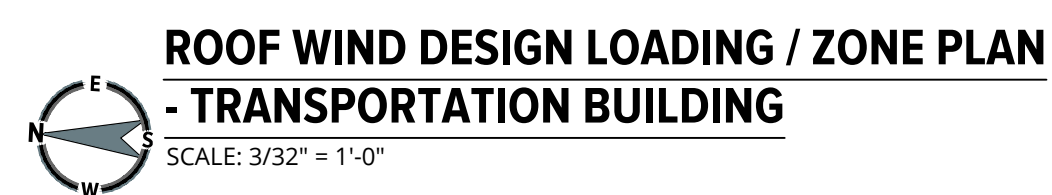
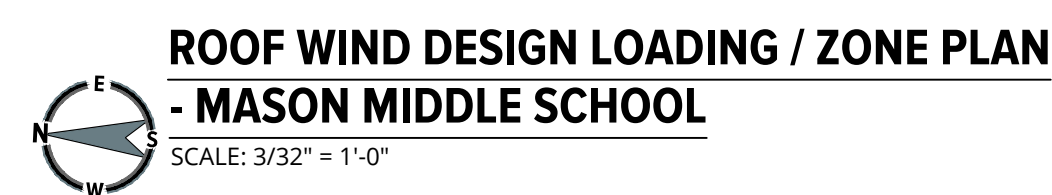
SHEET NO.	SHEET TITLE
G0.1	TITLE SHEET
G1.1	ROOF WIND DESIGN LOADING/ZONE PLANS
A1.1	ROOF PLANS
A5.1	FLASHING DETAILS
A5.1	FLASHING DETAILS

**OWNER / CLIENT**

WATERFORD SCHOOL DISTRICT  
501 N. CASS LAKE ROAD  
WATERFORD, MI 48328

OWNER REPRESENTATIVE : MR. SIDNEY TIPPETT  
PHONE: 248-674-3193  
EMAIL: TIPPES01@WSDMI.ORG

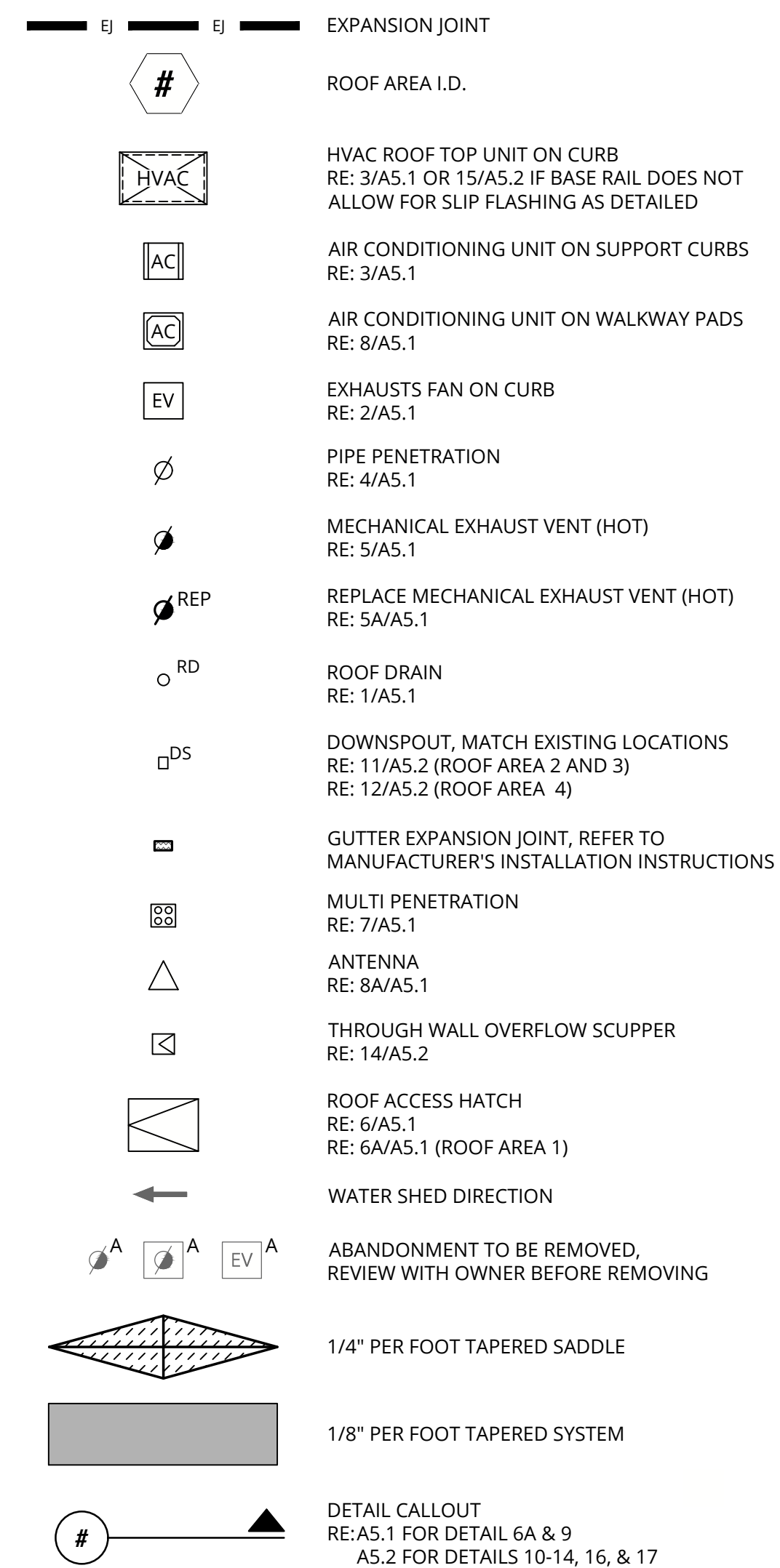




PLOT DATE: December 11, 2025 - 3:40 PM - jason.nicholes



ROOF AREAS	ROOF ASSEMBLY (MEMBRANE TO DECK)
1	<p>MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE</p> <p>COVER BOARD: 1/2" HIGH DENSITY POLYISOCYANURATE (ISO), ADHERED IN LOW-RISE FOAM</p> <p>TAPERED INSULATION SYSTEM: 1/8"/FT TAPERED ISO INSULATION SYSTEM, ADHERED IN LOW RISE FOAM</p> <p>BASE INSULATION: 2 LAYERS OF 1.5" ISO INSULATION, ADHERED IN LOW-RISE FOAM</p> <p>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER</p> <p>SUBSTRATE BOARD: 1/2" DENSDECK PRIME GYPSUM COVER BOARD MECHANICALLY ATTACHED TO STEEL DECK</p> <p>EXISTING DECK: STEEL</p>
2 4	<p>MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE</p> <p>COVER BOARD: 1/2" HIGH DENSITY ISO, ADHERED IN LOW-RISE FOAM</p> <p>BASE INSULATION: 2 LAYERS OF 2.4" ISO INSULATION, ADHERED IN LOW-RISE FOAM</p> <p>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER</p> <p>SUBSTRATE BOARD: 1/2" DENSDECK PRIME GYPSUM COVER BOARD MECHANICALLY ATTACHED TO STEEL DECK</p> <p>EXISTING DECK: STEEL</p>
3	<p>MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE</p> <p>COVER BOARD: 1/2" HIGH DENSITY ISO, ADHERED IN LOW-RISE FOAM</p> <p>BASE INSULATION: 2 LAYERS OF 2.4" ISO INSULATION, ADHERED IN LOW-RISE FOAM</p> <p>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER, DOUBLE PRIME IF REQUIRED BY ROOFING MANUFACTURER</p> <p>BASE SHEET: SBS FIBERGLASS MAT MECHANICALLY ATTACHED TO GYPSUM DECK, SWEEP LOOSE PARTING AGENT BEFORE ADHERING VAPOR RETARDER</p> <p>EXISTING DECK: GYPSUM</p>



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**4585 PONTIAC LAKE ROAD**  
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**3835 W WALTON BLVD**  
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## Engineer's Seal

[illegible]

Date 12/12/2025

SME Project No.	101547.00
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Project Manager: **K. DAMEROW**

Designer: **K. DAMEROW**

CADD: J. NICHOLS

Checked By: **A. CASSIDY**

Reviewed By: **F. MURRELL**

Sheet Name: **ROOF PLANS**

Page 10 of 10

## A1.1

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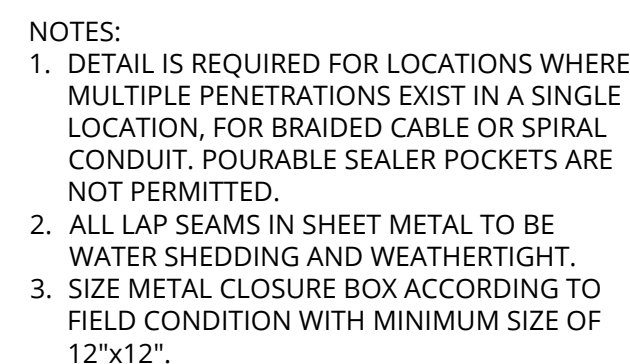




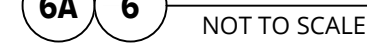
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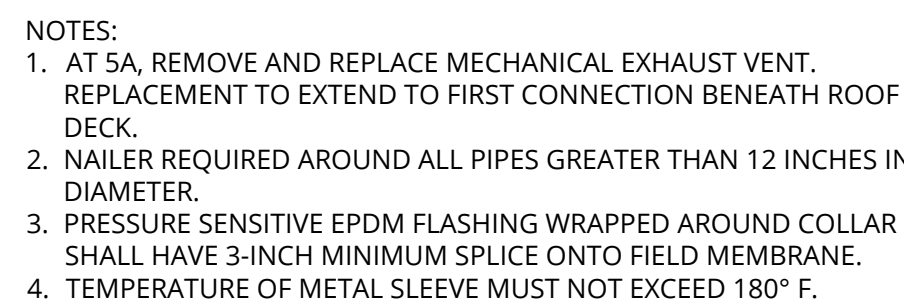
8A 8 — **EXISTING**  
NOT TO SCALE



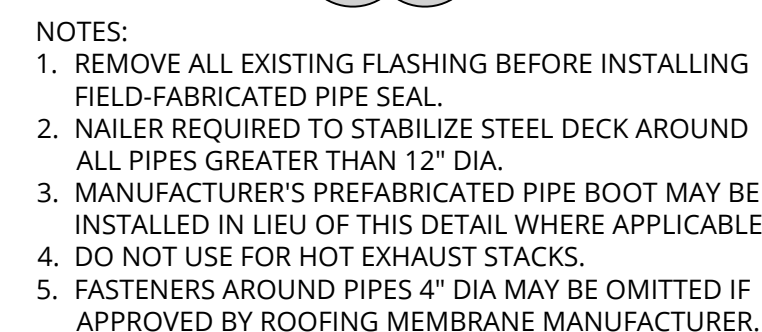
7 NOT TO SCALE



NOTE:  
AT 6A, REPLACE ROOF HATCH AS SPECIFIED. REVIEW STEEL DECK TO VERIFY OPENING IS SUPPORTED BY EXISTING FRAMING. NOTIFY ENGINEER IF FRAMING IS NOT IN PLACE.



5A 5 MECHAN NOT TO SCALE

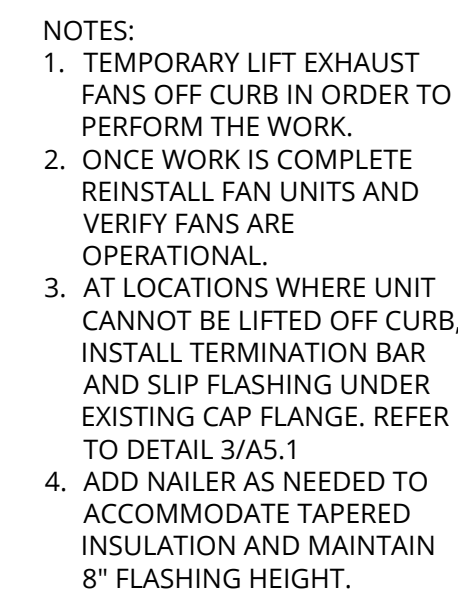
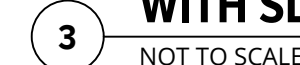


NOTE:  
CAN USE EITHER  
OF THESE DETAILS

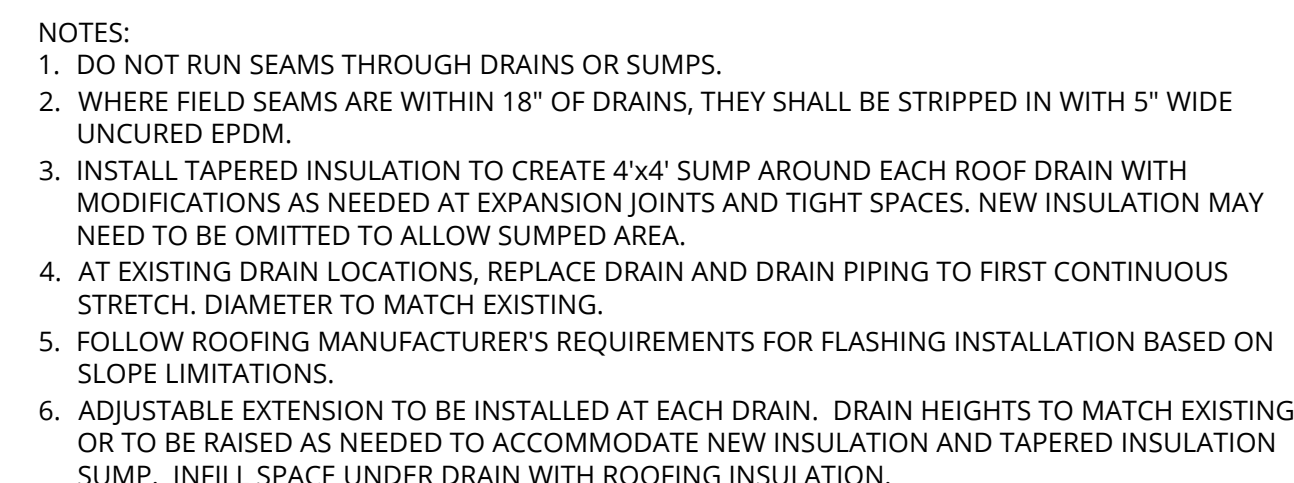
NOTES:

1. THE USE OF LAP SEALANT TO SEAL TOP EDGE OF PIPE BOOT IS NOT PERMITTED.
2. PIPE BOOTS ARE NOT TO BE APPLIED DIRECTLY TO HOT VENTS.
3. NAILERS REQUIRED TO STABILIZE STEEL DECK AT PENETRATIONS LARGER THAN 12" DIA.
4. FASTENERS MAY BE OMITTED AT PENETRATIONS LESS THAN 18" DIA OR AS OTHERWISE INDICATED BY THE ROOFING MANUFACTURER.

4 NOT TO SCALE



2 — AND OVER  
NOT TO SCALE



1 NOT TO SCALE

ROOFING ASSEMBLY  
COMPONENTS INCLUDING COVER  
BOARD, LAYERS OF INSULATION,  
REINFORCED PERIMETER  
FASTENING STRIP, ETC. NOT  
LABELLED/SHOWN ON EACH  
DETAIL FOR CLARITY, REFER TO  
ASSEMBLY TABLES ON A1.1 FOR  
COMPLETE ROOFING ASSEMBLY  
ON EACH ROOF AREA. INCLUDE  
REINFORCED PERIMETER  
FASTENING STRIP AS REQUIRED  
BY ROOFING MANUFACTURER  
FOR WARRANTY REQUIREMENTS



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3

[illegible]

Date 12/12/2025

SME Project No.	101547.00
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Project Manager: **K. DAMEROW**

Designer: **K. DAMEROW**

CADD: J. NICHOLAS

Checked By: **A. CASSIDY**

Reviewed By: **E. MURRELL**

Sheet Name: **FLASHING DETAILS**

Sheet No.

## A5.1

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**Project Location**  
**4585 PONTIAC LAKE ROAD**  
**WATERFORD, MI 48328**

**3835 W WALTON BLVD**  
**WATERFORD, MI 48329**

10. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

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CADD:	J. NICHOLIS
Checked By:	A. CASSIDY
Reviewed By:	E. MURRELL
Sheet Name:	<b>FLASHING DETAILS</b>
Sheet No.	<b>A5.2</b>
<small>             DRAWING NOTE: SCALE DEPICTED IS MEANT FOR 24" X 36" AND WILL SCALE              INCORRECTLY IF PRINTED ON ANY OTHER SIZE MEDIA              NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR CONSENT OF SME              © 2025 SME, AND MATERIALS ENGINEERS, INC.              SME AND THE SME LOGO ARE FEDERALLY REGISTERED MARKS.           </small>	

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FILE LOCATION: \\sme-inc\pz\WIP\101547.00\CAD\Design Files\MAT\Rev0 IFB\101547.00-Plans and Details.dwg

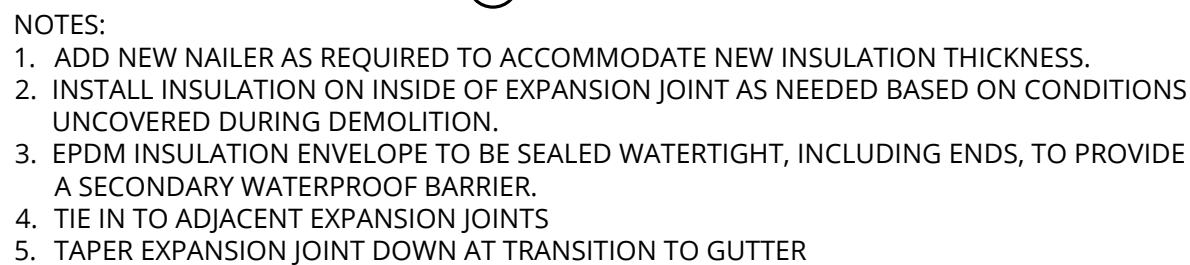
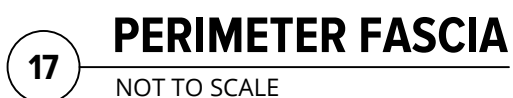
ROOFING ASSEMBLY  
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REINFORCED PERIMETER  
FASTENING STRIP, ETC. NOT  
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ASSEMBLY TABLES ON A1.1 FOR  
COMPLETE ROOFING ASSEMBLY  
ON EACH ROOF AREA. INCLUDE  
REINFORCED PERIMETER  
FASTENING STRIP AS REQUIRED  
BY ROOFING MANUFACTURER  
FOR WARRANTY REQUIREMENTS



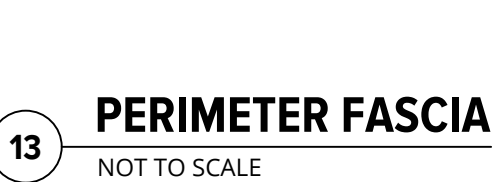
**10** **COPING**  
NOT TO SCALE



15 WITH IN  
NOT TO SCALE



**16 RAISED EXPANSION JOINT**  
NOT TO SCALE



**10** **COPING**  
NOT TO SCALE