# 2025 Waterford School District
# Mott High School Roofing Replacement
## 1151 Scott Lake Road
## Waterford Twp., Michigan 48328

## GENERAL NOTES:

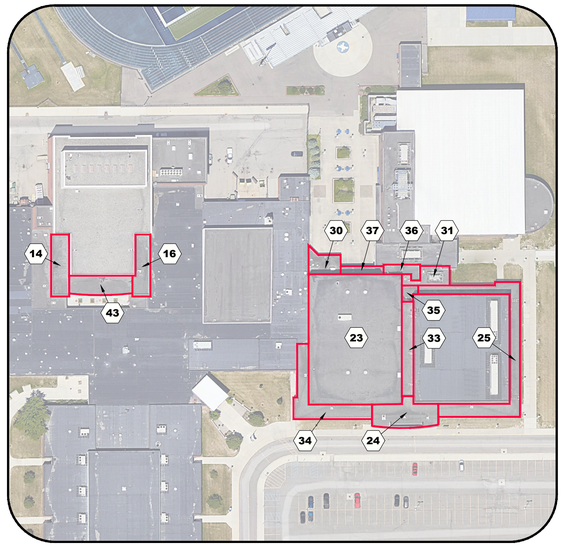
1. THE SUMMARY OF WORK CONTAINED IN THESE NOTES AND SHOWN ON THE PLANS MAY NOT INCLUDE ALL ITEMS AND ACTIVITIES NECESSARY TO COMPLETE THE WORK. IN ADDITION TO THE REQUIREMENTS SHOWN IN THE DRAWINGS, TAKE MEASURES REASONABLY NECESSARY TO PROVIDE THE DESIRED WORK RESULT AND TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING SAFETY, AND PROTECTION OF PROPERTY AND PEDESTRIANS. PROVIDE AND MAINTAIN SAFETY DEVICES IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. DIMENSIONS SHOWN ON DRAWINGS ARE BASED UPON LIMITED FIELD VERIFICATION, AND HAVE NOT BEEN COMPLETELY FIELD VERIFIED. THE OWNER AND ENGINEER TAKE NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING DIMENSIONS SHOWN ON THE DRAWINGS.
4. NOTIFY THE OWNER AND ENGINEER OF ANTICIPATED CHANGES OR ADDITIONS TO THE WORK PRIOR TO THE START OF ACTIVITIES. THE GENERAL LIMITS OF THE WORK ARE NOTED ON THE PROJECT DRAWINGS WITH WORK BOUNDARIES TO BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
5. PROMPTLY REPORT UNANTICIPATED CONDITIONS UNCOVERED THAT ARE CONTRARY TO THE DRAWINGS OR WILL ADVERSELY IMPACT THE WORK TO THE OWNER AND ENGINEER FOR ADVISEMENT.
6. PROVIDE TEMPORARY PROTECTION, BARRICADES, TEMPORARY STRUCTURES, AND OTHER MEASURES AS NEEDED TO PROTECT THE PEDESTRIAN AND VEHICULAR TRAFFIC ADJACENT TO AND IN THE VICINITY OF THE WORK AREA.
7. PROVIDE TEMPORARY PROTECTION WATERPROOFING, TIE-INS, WATER BLOCKS, AND INTERIOR PROTECTION AS NEEDED DURING THE WORK TO PREVENT LEAKAGE INTO THE BUILDING AND WATER DAMAGE TO THE INTERIOR. PROVIDE TARPAULINS OR PLASTIC SHEETING FOR TEMPORARY PROTECTION INSIDE THE BUILDING AS NEEDED DURING CONSTRUCTION. INTERIOR PROTECTION (SUSPENDED PLASTIC SHEETING) IS REQUIRED BENEATH ROOF AREAS 23, 25, AND 43. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT INTERIOR OPERATIONS ARE NOT INTERRUPTED AND THAT INTERIOR SURFACES AND FINISHES ARE NOT DAMAGED BY ROOFING REPLACEMENT OPERATIONS BENEATH EACH ROOF AREA. FOLLOWING ROOFING REPLACEMENT, REMOVE PLASTIC SHEETING AND CLEAN INTERIOR SURFACES TO PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO OWNER.
8. PROVIDE TEMPORARY PROTECTION OF EXISTING EQUIPMENT DURING THE WORK, SATISFYING OWNER'S REQUIREMENTS. RESTORE EXISTING EQUIPMENT, BUILDING COMPONENTS, SIDEWALK, AND GROUNDS DAMAGED DURING THIS WORK TO ORIGINAL CONDITION OR REPLACE WITH NEW MATERIALS AS DIRECTED BY THE OWNER. DAMAGED EQUIPMENT/COMPONENTS WILL BE REPLACED AT NO COST TO THE OWNER.
9. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR DELIVERY, STORAGE, MIXING, SURFACE PREPARATION, APPLICATION, AND CURING OF MATERIALS USED FOR RESTORATION WORK.
10. SECURE SITE STAGING AREA FOR STORAGE TO BE COORDINATED WITH OWNER PRIOR TO BEGINNING WORK.
11. STORAGE OF MATERIALS INSIDE THE BUILDING IS PROHIBITED. DO NOT STORE FLAMMABLE MATERIALS ON THE ROOFS OR IN THE STAGING AREA. REMOVE FLAMMABLE MATERIALS FROM THE SITE AND SECURELY STORE THEM AT THE END OF EACH WORK DAY.
12. TAKE DUE CARE AND CAUTION TO AVOID TRACKING DUST, DEBRIS, OR LOOSE MATERIALS TO AREAS OUTSIDE OF THE CONSTRUCTION AREA. REMOVE MATERIALS TRACKED TO AREAS OUTSIDE OF THE CONSTRUCTION AREA AS SOON AS POSSIBLE, AT NO ADDITIONAL COST TO THE OWNER. CONDUCT AN INSPECTION AT THE END OF EACH WORK DAY OF THE PROJECT AREA AND TAKE STEPS TO ENSURE THAT THE ENTIRE WORK AREA IS CLEAN. THIS REQUIREMENT INCLUDES DEBRIS FROM THE CONTRACTOR'S EMPLOYEES EATING LUNCH OR ON BREAKS.
13. REMOVE WASTE MATERIALS AND DEBRIS RESULTING FROM THE WORK FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.
14. REMOVE STAINING/CONTAMINANTS FROM BUILDING SURFACES AND THE GROUNDS, INCLUDING SPILLED OR SMEARED SEALANTS, BITUMINOUS MATERIALS, GASOLINE AND FUEL SPILLS, AND HYDRAULIC LEAKAGE FROM THE EQUIPMENT USED ONSITE.
15. PROVIDE PROTECTION OF SIDEWALKS OR OTHER PAVEMENTS AGAINST BREAKAGE DUE TO MANLIFT USE OR OTHER EQUIPMENT. RESTORE DAMAGED SIDEWALKS AND PAVEMENTS TO PRE-PROJECT CONDITIONS.
16. MAINTAIN UP-TO-DATE SET OF PROJECT DOCUMENTS AT THE JOB-SITE. KEEP ACCURATE AND LEGIBLE RECORDS OF CHANGES TO THE WORK THAT OCCUR DURING CONSTRUCTION AND INFORMATION ON 'AS-BUILT' EXISTING OR CONSTRUCTED CONDITIONS. KEEP RECORDS OF CHANGES AND AS-BUILT CONDITIONS DOCUMENTED ON A SET OF DRAWINGS TO BE PROVIDED TO THE ENGINEER AT CONSTRUCTION COMPLETION.
17. UPON COMPLETION OF THE WORK, CLEAR THE ENTIRE SITE OF EQUIPMENT, UNUSED MATERIALS, AND RUBBISH. RESTORE DISTURBED AREAS TO THE SATISFACTION OF THE OWNER.

## SCOPE OF WORK:

1. REMOVE AND REPLACE ROOFING ASSEMBLY ON EACH ROOF WITH NEW FULLY ADHERED, BLACK, 60-MIL EPDM MEMBRANE, INSULATION, PERIMETER FLASHINGS, EDGE METAL FLASHINGS, 20-YEAR ROOFING MANUFACTURER'S WARRANTY, AND 2-YEAR CONTRACTOR'S WARRANTY. EDGE METAL TO BE INCLUDED IN ROOFING MANUFACTURER'S 20-YEAR WARRANTY.
2. REPLACE EACH DRAIN AS INDICATED ON PROJECT DRAWINGS AND SPECIFICATIONS.
3. REPLACE DETERIORATED WOOD BLOCKING TO MATCH EXISTING.
4. ADD WOOD BLOCKING ON CURBS AND PERIMETERS TO ACCOMMODATE NEW INSULATION HEIGHTS.
   A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE NUMBER OF NAILERS REQUIRED AT CURBS TO PROVIDE A MINIMUM OF 8-INCHES FLASHING HEIGHT.
5. PROVIDE LICENSED ELECTRICAL, PLUMBING, OR HVAC SUBCONTRACTORS TO DISCONNECT AND RECONNECT MECHANICAL UNITS, ADJUST OR RELOCATE UTILITIES, RAISE CURBS, ABANDON DESIGNATED CURBS, RAISE DUCTWORK, AND INSTALL NEW DRAINS AT NO ADDITIONAL COST TO OWNER. IN-PLACE SYSTEMS SHALL ACCOMMODATE NEW INSULATION THICKNESSES AND MEET WARRANTY REQUIREMENTS FOR FLASH HEIGHT BY ROOFING MANUFACTURER.
6. ALL MECHANICAL UNITS AND UTILITIES MUST BE OPERATIONAL AND DRAINS FREE-FLOWING AT THE COMPLETION OF THE PROJECT. THIS INCLUDES CONDUITS DAMAGED BY SCREWS OR OTHER ITEMS THAT MAY DAMAGE UTILITIES.
7. WORK TO BE COMPLETED IN ACCORDANCE WITH LOCAL CODES AND JURISDICTION(S) OF AUTHORITY. DO NOT SHUT OFF OR INHIBIT UTILITY SERVICES WITHOUT NOTIFYING OWNER'S REPRESENTATIVE IN ADVANCE.

## ABBREVIATION INDEX

| | |
|---|---|
| DIA | DIAMETER |
| GA | GAUGE |
| OC | ON CENTER |
| SIM | SIMILAR |
| TYP | TYPICAL |
| UNO | UNLESS NOTED OTHERWISE |
| VIF | VERIFY IN FIELD |




## OVERALL SITE PLAN
NOT TO SCALE


## OVERALL SITE PLAN
NOT TO SCALE

## ENGINEER


SME
43980 PLYMOUTH OAKS BLVD.
PLYMOUTH, MI 48170

CONTACT: KYLE DAMEROW, PE, RRC
PHONE: 734.454.9900
EMAIL: KYLE.DAMEROW@SME-USA.COM

www.sme-usa.com


SME PROJECT NO. 098209.00

## OWNER / CLIENT

WATERFORD SCHOOL DISTRICT
501 N. CASS LAKE ROAD
WATERFORD, MI 48328

OWNER REPRESENTATIVE : MR. SIDNEY TIPPETT
PHONE: 248-674-3193
EMAIL: TIPPES01@WSDMI.ORG

## APPLICABLE CODES

2015 MICHIGAN REHAB CODE

## LIST OF DRAWINGS

| SHEET No. | SHEET TITLE |
|---|---|
| G0.1 | COVER SHEET |
| G1.1 | ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 14, 16, AND 43 |
| G1.2 | ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 24, 33, AND 34 |
| G1.3 | ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 25 AND 35 |
| G1.4 | ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 23, 30, 31, 36, AND 37 |
| A1.1 | ROOF PLAN AREAS 14, 16, AND 43 |
| A1.2 | ROOF PLAN AREAS 24, 33, AND 34 |
| A1.3 | ROOF PLAN AREAS 25 AND 35 |
| A1.4 | ROOF PLAN AREAS 23, 30, 31, 36, AND 37 |
| A4.1 | FLASHING DETAILS |
| A4.2 | FLASHING DETAILS |
| A4.3 | FLASHING DETAILS |

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Project
2025 WATERFORD SCHOOL DISTRICT
MOTT HIGH SCHOOL
ROOFING REPLACEMENT

Project Location
1151 SCOTT LAKE ROAD
WATERFORD TWP., MI 48328

Engineer's Seal

Revisions

| REV | ISSUED FOR | DATE | BY |
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| | BIDS | 02/26/2025 | KMD |

Date
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SME Project No.
098209.00

Project Manager:
K. DAMEROW

Designer:
T. ACORD

CADD:
J. NICHOLES

Checked By:
K. DAMEROW

Reviewed By:
A. CASSIDY

Sheet Name:
COVER SHEET

Sheet No.
G0.1



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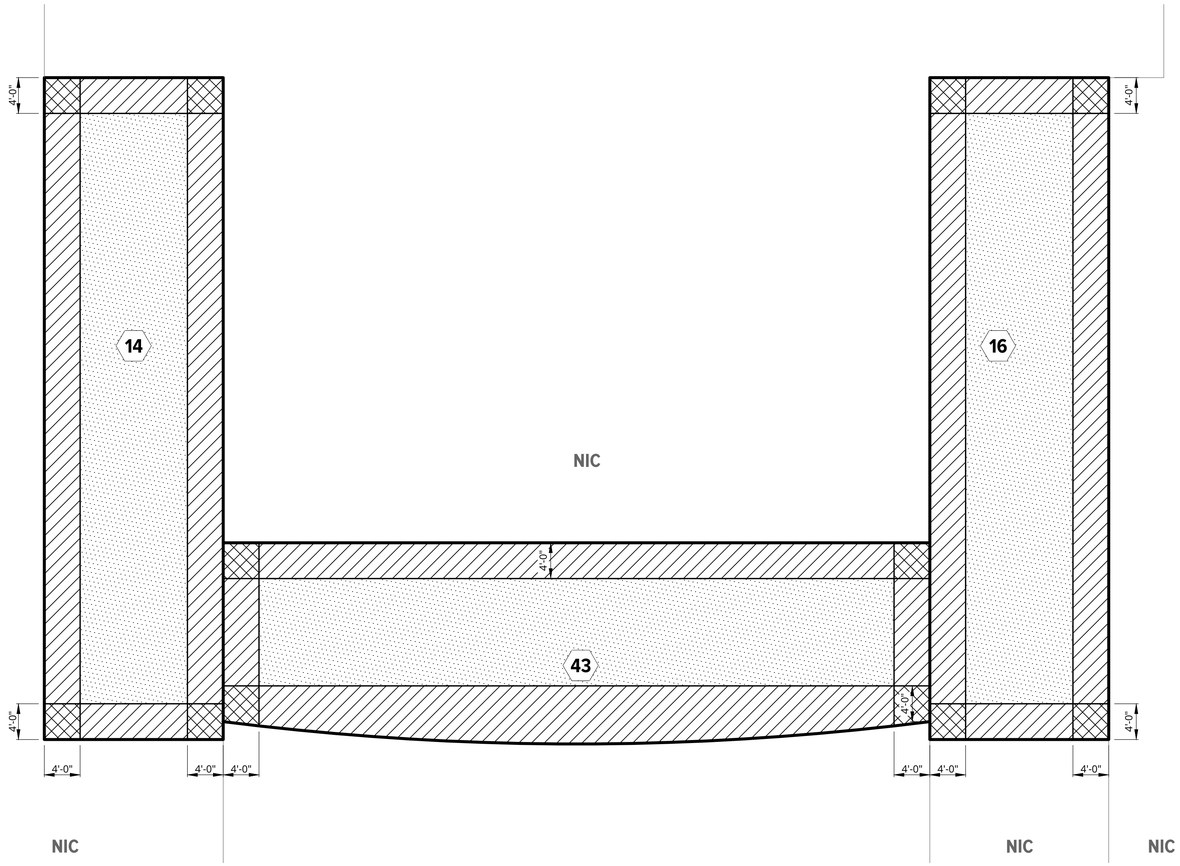



## ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 14, 16, AND 43

SCALE: 1/8" = 1'-0"

## LEGEND

- # — ROOF AREA I.D.
- ZONE 1
- ZONE 2
- ZONE 3

**WIND DESIGN CRITERIA (MBC 2015)**

MOTT HIGH SCHOOL

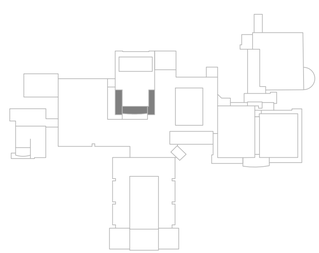
| | |
|---|---|
| ULTIMATE DESIGN (FACTORED) BASIC WIND SPEED (3 SECOND GUST) = | 120 MPH |
| NOMINAL WIND SPEED = | 93 MPH |
| EXPOSURE CATEGORY = | C |
| RISK CLASSIFICATION = | III |
| INTERNAL PRESSURE COEFFICIENT (PARTIALLY ENCLOSED) = | +/- 0.18 |

NOTES:
1. WORK WIND DESIGN LOADING ZONE PLAN WITH TABLE 1, THIS SHEET.
2. WIND UPLIFT PRESSURE GIVEN IN TABLE 1 TO BE USED FOR DESIGN OF ROOFING FASTENING SYSTEM(S).
3. DESIGN PRESSURES BASED ON EFFECTIVE WIND AREA OF 10FT$^2$ OR LESS.

TABLE 1

| SERVICE (UNFACTORED) DESIGN WIND LOADS - COMPONENTS AND CLADDING | |
|---|---|
| ROOF SURFACE VERTICAL PRESSURE (PSF) | |
| ZONE 1 | -25 |
| ZONE 2 AND TOP/SIDE OF PARAPET | -41 |
| ZONE 3 AND TOP/SIDE OF PARAPET | -62 |

NOTE:
" - # " INDICATES PRESSURE ACTING AWAY FROM THE ROOF SURFACE, I.E. SUCTION



KEY PLAN

SME
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WATERFORD SCHOOL DISTRICT

**Project**
**2025 WATERFORD SCHOOL DISTRICT**
**MOTT HIGH SCHOOL**
**ROOFING REPLACEMENT**

**Project Location**
**1151 SCOTT LAKE ROAD**
**WATERFORD TWP., MI 48328**

**Engineer's Seal**

**Revisions**

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02/26/2025

**SME Project No.**
098209.00

**Project Manager:**
K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 14, 16, AND 43

**Sheet No.**
G1.1



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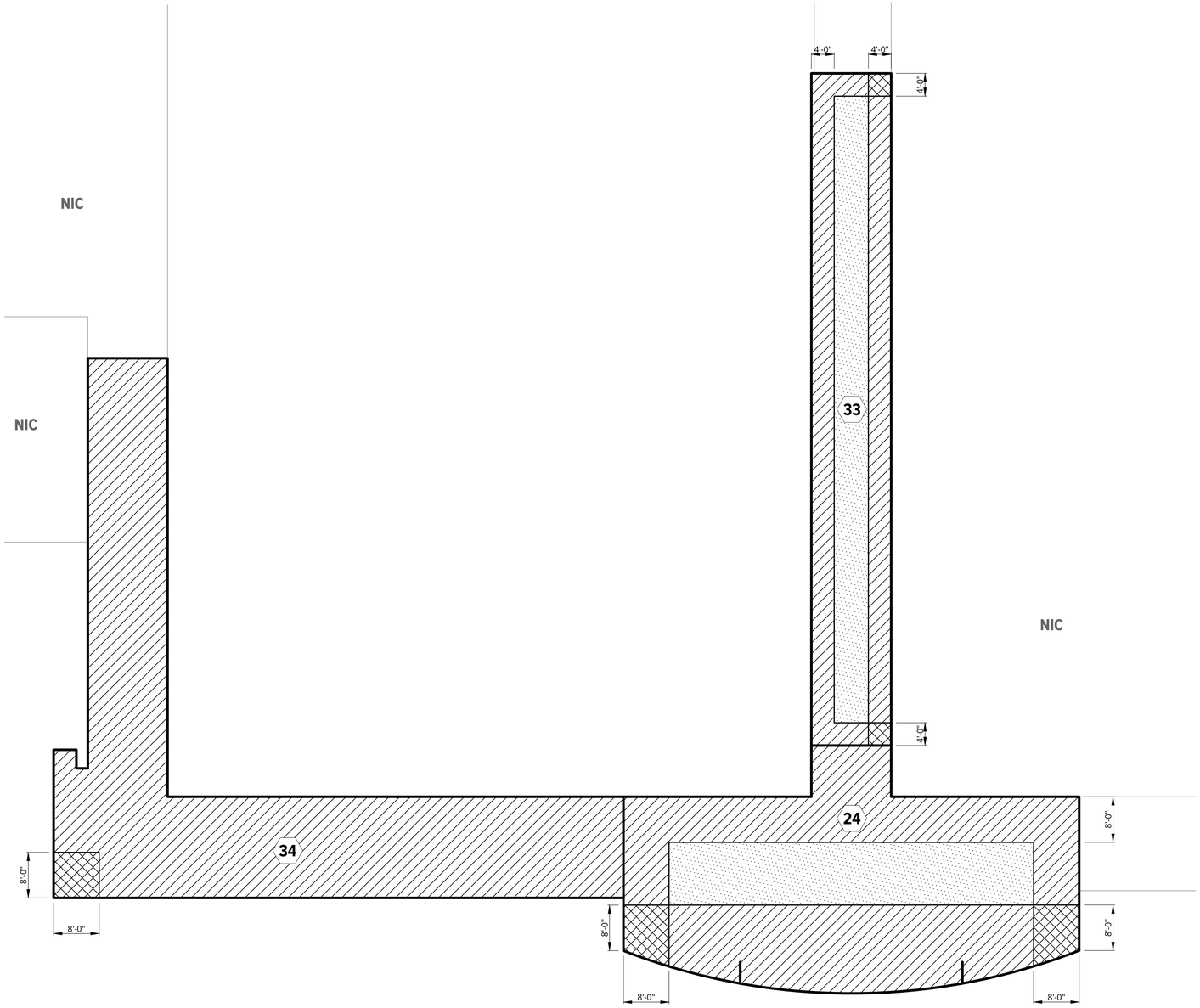


## ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 24, 33, AND 34

SCALE: 3/32" = 1'-0"

## LEGEND

- # — ROOF AREA I.D.
- ZONE 1
- ZONE 2
- ZONE 3

**WIND DESIGN CRITERIA (MBC 2015)**

MOTT HIGH SCHOOL

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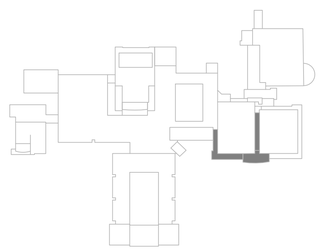

KEY PLAN

SME
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WATERFORD SCHOOL DISTRICT

**Project**
**2025 WATERFORD SCHOOL DISTRICT**
**MOTT HIGH SCHOOL**
**ROOFING REPLACEMENT**

**Project Location**
**1151 SCOTT LAKE ROAD**
**WATERFORD TWP., MI 48328**

**Engineer's Seal**

**Revisions**

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02/26/2025

**SME Project No.**
098209.00

**Project Manager:**
K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 24, 33, AND 34

**Sheet No.**
G1.2



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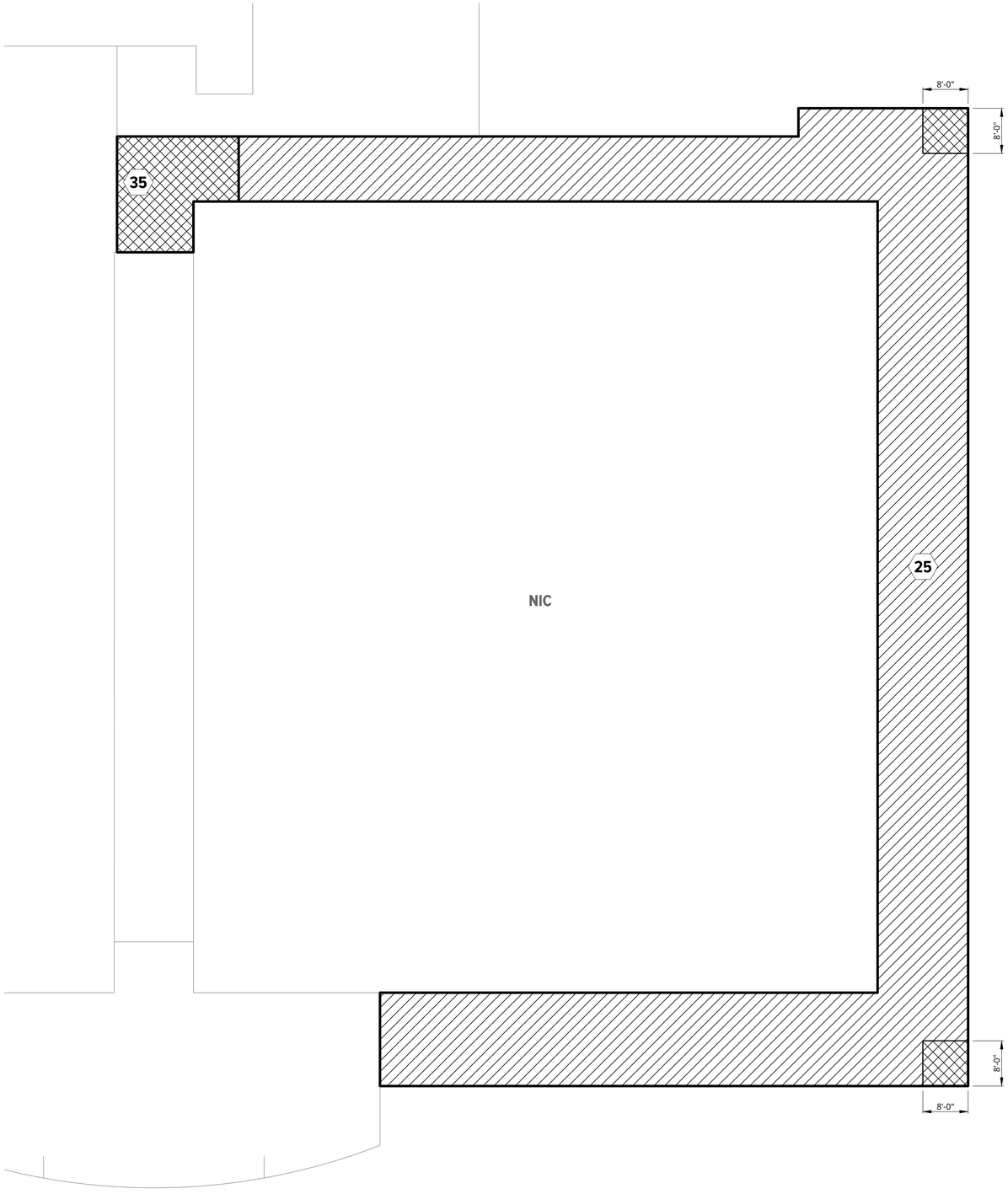


## LEGEND

- # — ROOF AREA I.D.
- ZONE 1
- ZONE 2
- ZONE 3

**WIND DESIGN CRITERIA (MBC 2015)**

MOTT HIGH SCHOOL

| | |
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NOTES:
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3. DESIGN PRESSURES BASED ON EFFECTIVE WIND AREA OF 10FT$^2$ OR LESS.

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NOTE:
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## ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 25 AND 35

SCALE: 3/32" = 1'-0"

KEY PLAN

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WATERFORD SCHOOL DISTRICT

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K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 25 AND 35

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G1.3



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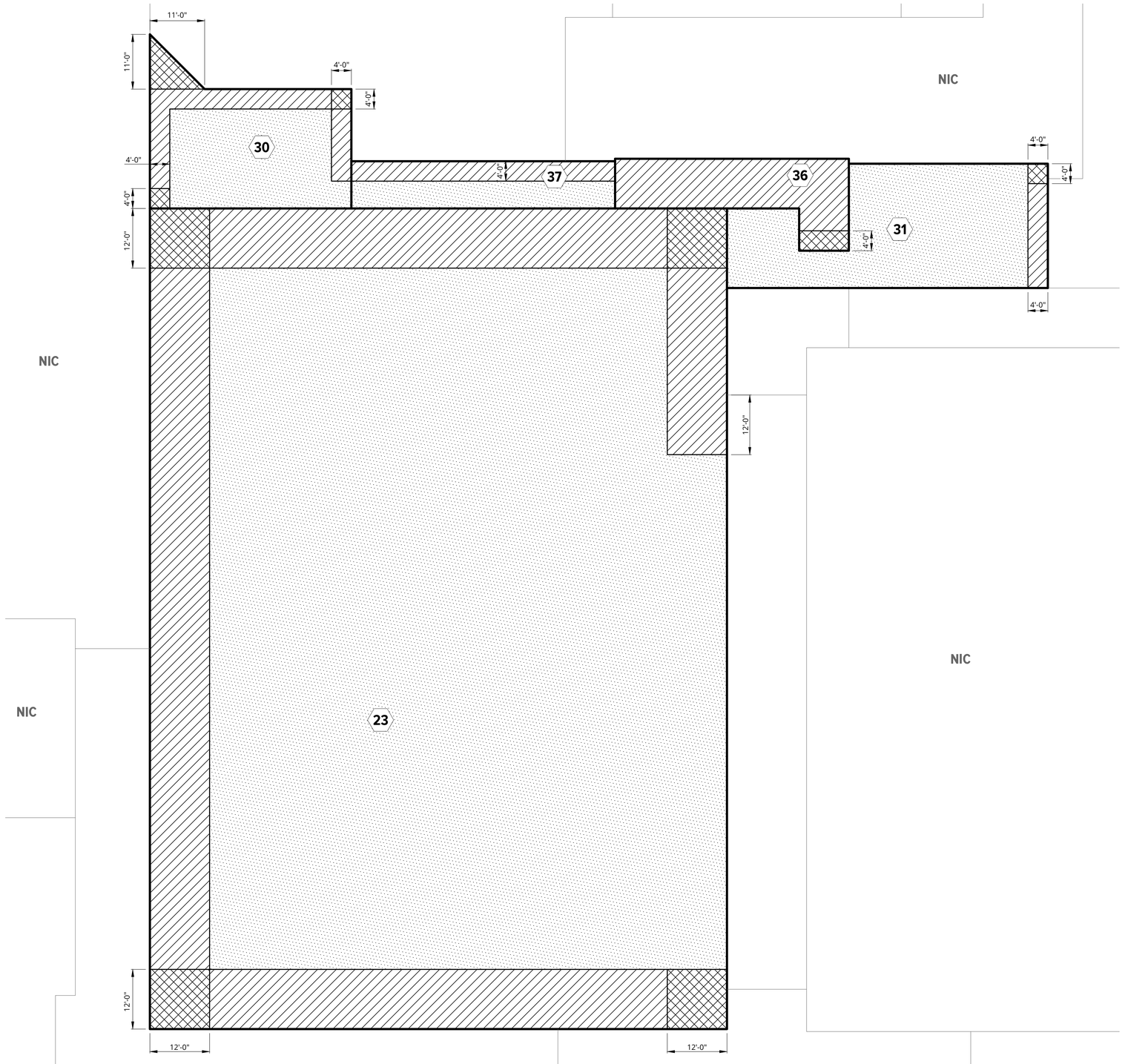


## ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 23, 30, 31, 36, AND 37

SCALE: 3/32" = 1'-0"

## LEGEND

- # — ROOF AREA I.D.
- ZONE 1
- ZONE 2
- ZONE 3

**WIND DESIGN CRITERIA (MBC 2015)**

MOTT HIGH SCHOOL

| | |
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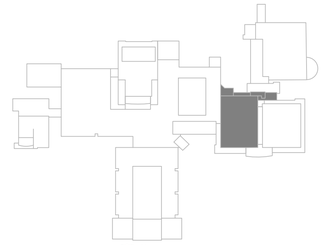

KEY PLAN

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**Engineer's Seal**

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**Project Manager:**
K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
ROOF WIND DESIGN LOADING / ZONE PLAN AREAS 23, 30, 31, 36, AND 37

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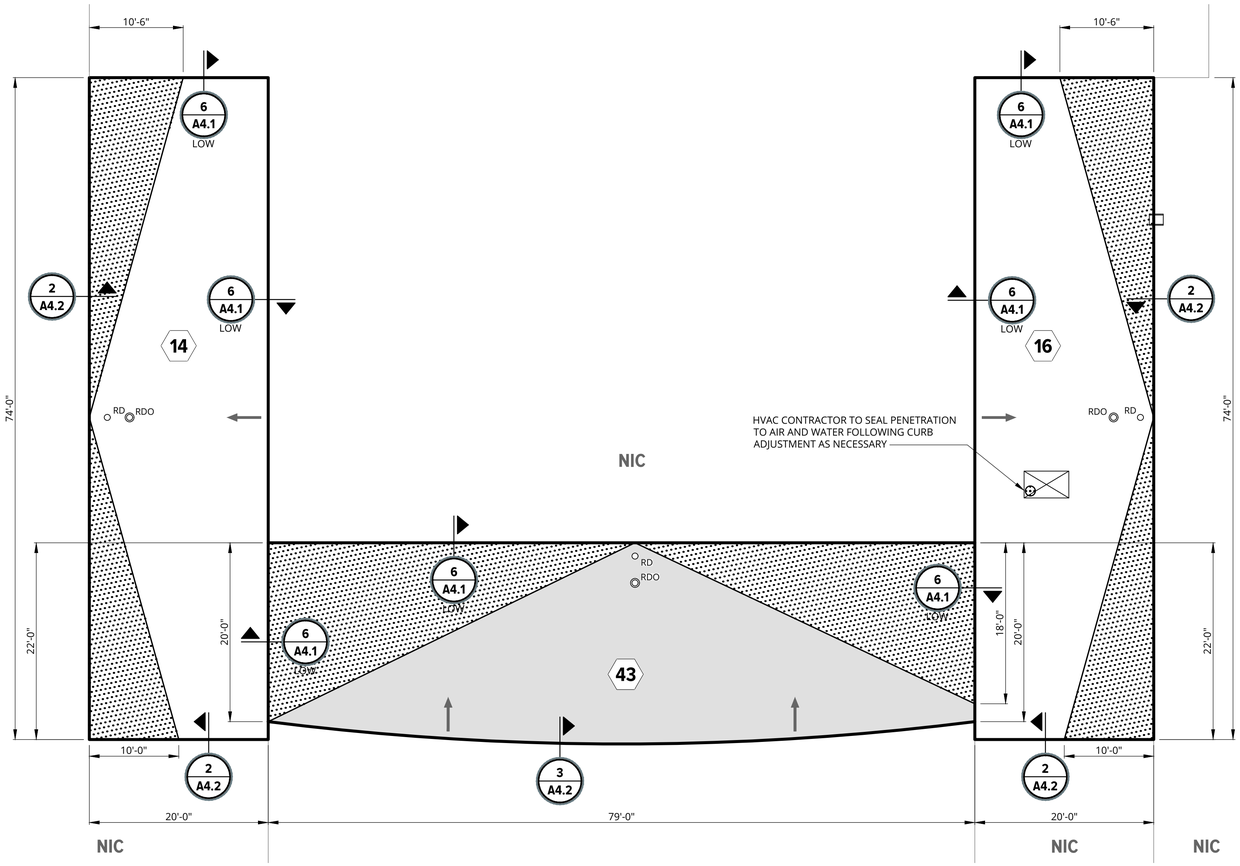



## ROOF PLAN AREAS 14, 16, AND 43

SCALE: 1/8" = 1'-0"

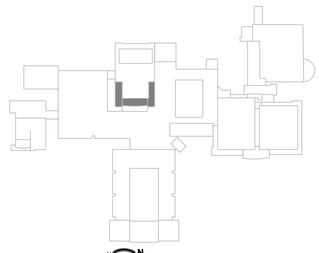
## ROOFING LEGEND

- # — ROOF AREA I.D.
- NIC — ROOF AREA NOT IN CONTRACT
- HVAC — HVAC ROOF TOP UNIT ON CURB RE: 4/A4.1 UNO
- CONDENSING UNIT ON CURB WITH RUBBER MULTIPLE PENETRATION OPENING RE: 3/A4.1
- EV — EXHAUSTS FAN RE: 3/A4.1
- EV — EXHAUSTS FAN ON SLEEPERS RE: 4/A4.1
- ROOF ACCESS HATCH RE: 1/A4.3
- ROOF ACCESS LADDER RE: 6/A4.2
- RD — ROOF DRAIN RE: 1/A4.1
- RDO — ROOF DRAIN OVERFLOW RE: 1/A4.1
- PIPE PENETRATION RE: 2/A4.1
- MULTI PENETRATION RE: 3/A4.3
- SCUPPER RE: 7/A4.2
- A — ABANDONMENT TO BE REMOVED
- WATER SHED DIRECTION
- 1/2" PER FOOT TAPERED SADDLE
- 1/4" PER FOOT TAPERED SADDLE
- 1/8" PER FOOT TAPERED SYSTEM
- 1/4" PER FOOT TAPERED SYSTEM

**MOTT HIGH SCHOOL NOTES:**

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING SLOPES.

| ROOF AREAS | ROOF ASSEMBLY (MEMBRANE TO DECK) |
|---|---|
| 14 16 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 2.6" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |
| 43 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>TAPERED INSULATION SYSTEM: 1/4"/FT TAPERED POLYISOCYANURATE INSULATION SYSTEM, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 2.6" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |



## KEY PLAN

SME
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WATERFORD SCHOOL DISTRICT

**Project**
2025 WATERFORD SCHOOL DISTRICT
MOTT HIGH SCHOOL
ROOFING REPLACEMENT

**Project Location**
1151 SCOTT LAKE ROAD
WATERFORD TWP., MI 48328

**Engineer's Seal**

**Revisions**

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| | BIDS | 02/26/2025 | KMD |

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02/26/2025

**SME Project No.**
098209.00

**Project Manager:**
K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

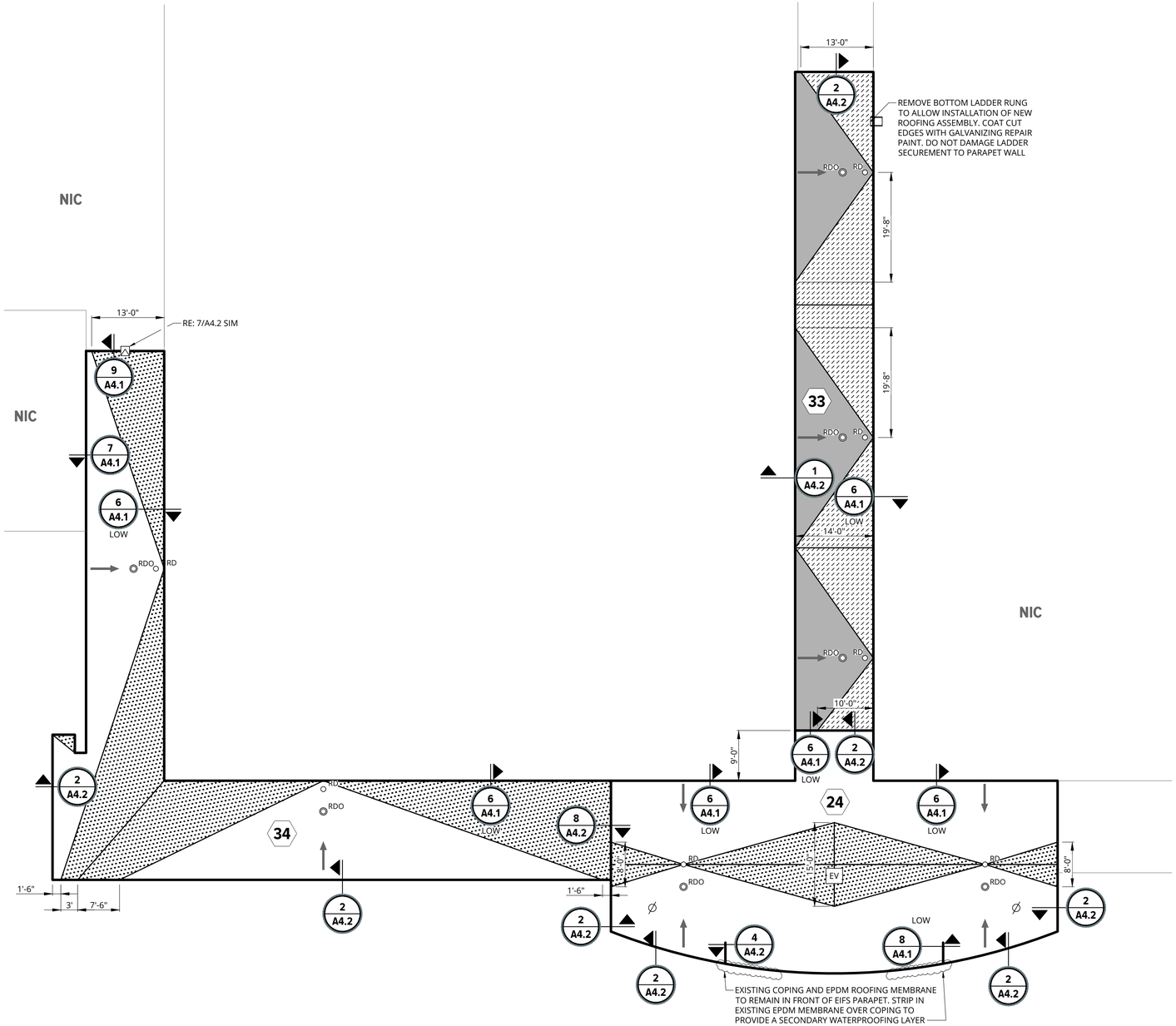
**Reviewed By:**
A. CASSIDY

**Sheet Name:**
ROOF PLAN
AREAS 14, 16, AND 43

**Sheet No.**
A1.1



PLOT DATE: Feb 26, 2025 - 11:14am - jason.nicholes
FILE LOCATION: \\sme-inc\pw\WIP\098209.00\CAD\Design Files\MAT\Rev01\098209.00-Plans.dwg




NIC

## ROOF PLAN AREAS 24, 33, AND 34

SCALE: 3/32" = 1'-0"

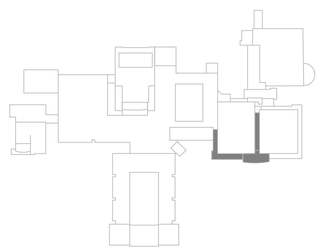
## ROOFING LEGEND

- # — ROOF AREA I.D.
- NIC — ROOF AREA NOT IN CONTRACT
- HVAC — HVAC ROOF TOP UNIT ON CURB RE: 4/A4.1 UNO
- CONDENSING UNIT ON CURB WITH RUBBER MULTIPLE PENETRATION OPENING RE: 3/A4.1
- EV — EXHAUSTS FAN RE: 3/A4.1
- EV — EXHAUSTS FAN ON SLEEPERS RE: 4/A4.1
- ROOF ACCESS HATCH RE: 1/A4.3
- ROOF ACCESS LADDER RE: 6/A4.2
- RD — ROOF DRAIN RE: 1/A4.1
- RDO — ROOF DRAIN OVERFLOW RE: 1/A4.1
- PIPE PENETRATION RE: 2/A4.1
- MULTI PENETRATION RE: 3/A4.3
- SCUPPER RE: 7/A4.2
- A — ABANDONMENT TO BE REMOVED
- WATER SHED DIRECTION
- 1/2" PER FOOT TAPERED SADDLE
- 1/4" PER FOOT TAPERED SADDLE
- 1/8" PER FOOT TAPERED SYSTEM
- 1/4" PER FOOT TAPERED SYSTEM

**MOTT HIGH SCHOOL NOTES:**

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING SLOPES.

| ROOF AREAS | ROOF ASSEMBLY (MEMBRANE TO DECK) |
|---|---|
| 24 34 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 2.6" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |
| 33 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>TAPERED INSULATION SYSTEM: 1/8"/FT TAPERED POLYISOCYANURATE INSULATION SYSTEM, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 2.6" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |



KEY PLAN

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WATERFORD SCHOOL DISTRICT

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MOTT HIGH SCHOOL
ROOFING REPLACEMENT

**Project Location**
1151 SCOTT LAKE ROAD
WATERFORD TWP., MI 48328

**Engineer's Seal**

**Revisions**

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|---|---|---|---|
| | BIDS | 02/26/2025 | KMD |

**Date**
02/26/2025

**SME Project No.**
098209.00

**Project Manager:**
K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
ROOF PLAN
AREAS 24, 33, AND 34

**Sheet No.**
A1.2



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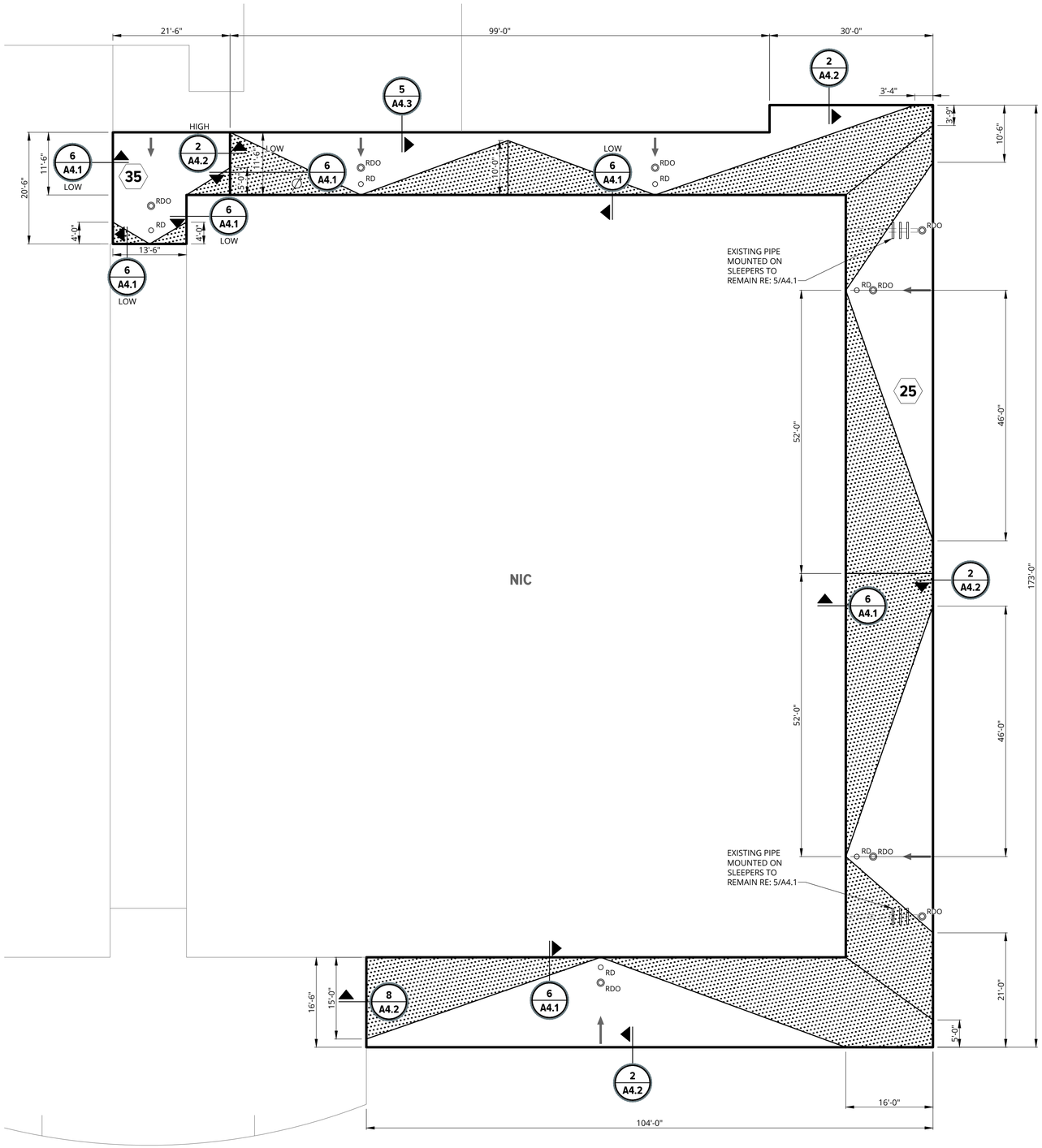



## ROOF PLAN AREAS 25 AND 35

SCALE: 3/32" = 1'-0"

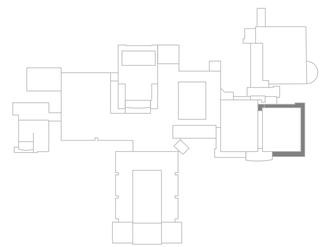
## ROOFING LEGEND

- # — ROOF AREA I.D.
- NIC — ROOF AREA NOT IN CONTRACT
- HVAC — HVAC ROOF TOP UNIT ON CURB RE: 4/A4.1 UNO
- CONDENSING UNIT ON CURB WITH RUBBER MULTIPLE PENETRATION OPENING RE: 3/A4.1
- EV — EXHAUSTS FAN RE: 3/A4.1
- EV — EXHAUSTS FAN ON SLEEPERS RE: 4/A4.1
- ROOF ACCESS HATCH RE: 1/A4.3
- ROOF ACCESS LADDER RE: 6/A4.2
- RD — ROOF DRAIN RE: 1/A4.1
- RDO — ROOF DRAIN OVERFLOW RE: 1/A4.1
- PIPE PENETRATION RE: 2/A4.1
- MULTI PENETRATION RE: 3/A4.3
- SCUPPER RE: 7/A4.2
- A — ABANDONMENT TO BE REMOVED
- WATER SHED DIRECTION
- 1/2" PER FOOT TAPERED SADDLE
- 1/4" PER FOOT TAPERED SADDLE
- 1/8" PER FOOT TAPERED SYSTEM
- 1/4" PER FOOT TAPERED SYSTEM

**MOTT HIGH SCHOOL NOTES:**

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING SLOPES.

| ROOF AREAS | ROOF ASSEMBLY (MEMBRANE TO DECK) |
|---|---|
| 35 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 2.6" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |
| 25 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 2" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |



## KEY PLAN

SME
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WATERFORD SCHOOL DISTRICT

**Project**
**2025 WATERFORD SCHOOL DISTRICT**
**MOTT HIGH SCHOOL**
**ROOFING REPLACEMENT**

**Project Location**
**1151 SCOTT LAKE ROAD**
**WATERFORD TWP., MI 48328**

**Engineer's Seal**

**Revisions**

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|---|---|---|---|
| | BIDS | 02/26/2025 | KMD |

**Date**
02/26/2025

**SME Project No.**
098209.00

**Project Manager:**
K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
ROOF PLAN
AREAS 25 AND 35

**Sheet No.**
A1.3



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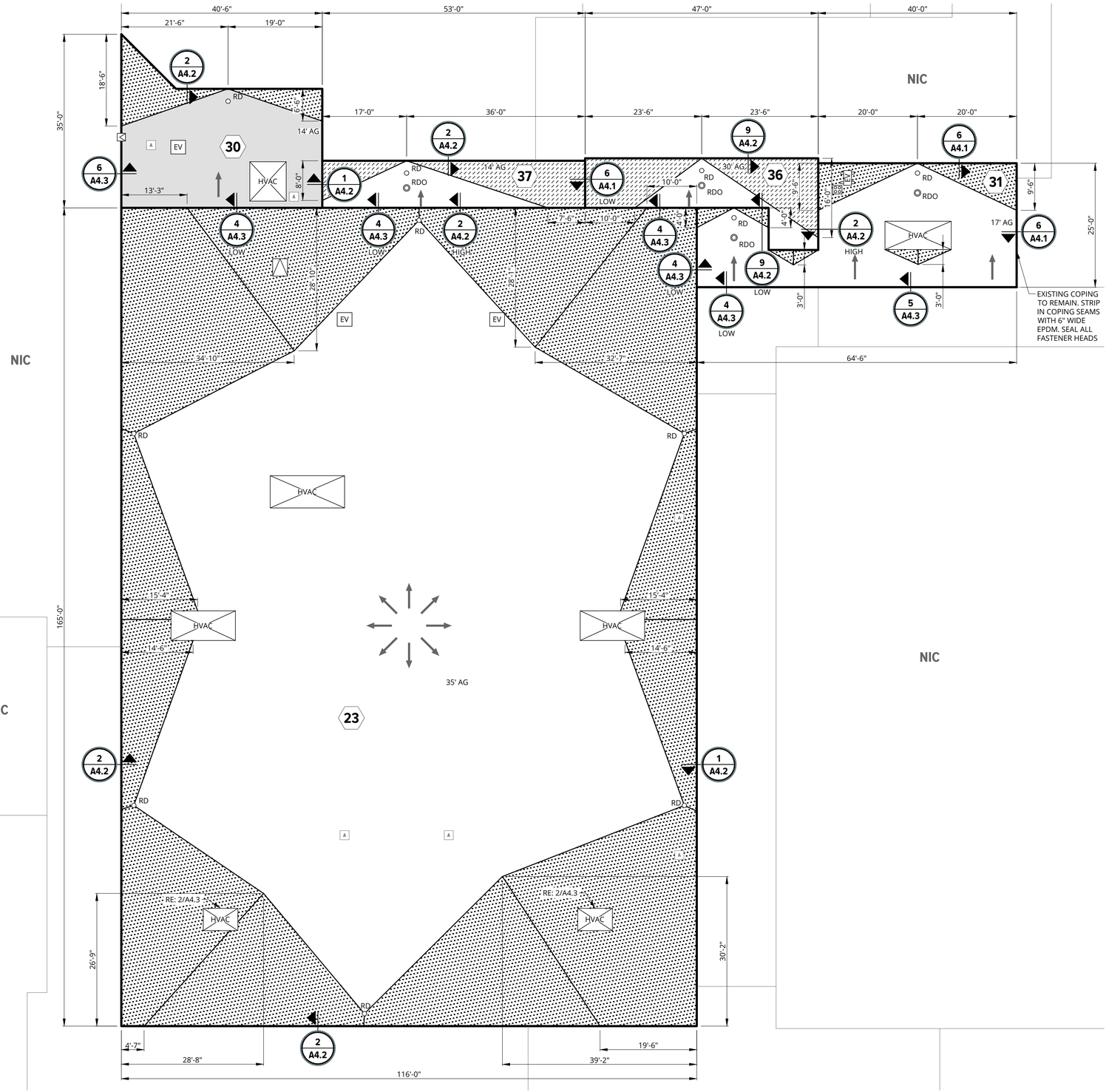


## ROOF PLAN AREAS 23, 30, 31, 36, AND 37

SCALE: 3/32" = 1'-0"

## ROOFING LEGEND

- # — ROOF AREA I.D.
- NIC — ROOF AREA NOT IN CONTRACT
- HVAC — HVAC ROOF TOP UNIT ON CURB RE: 4/A4.1 UNO
- CONDENSING UNIT ON CURB WITH RUBBER MULTIPLE PENETRATION OPENING RE: 3/A4.1
- EV — EXHAUSTS FAN RE: 3/A4.1
- EXHAUSTS FAN ON SLEEPERS RE: 4/A4.1
- ROOF ACCESS HATCH RE: 1/A4.3
- ROOF ACCESS LADDER RE: 6/A4.2
- RD — ROOF DRAIN RE: 1/A4.1
- RDO — ROOF DRAIN OVERFLOW RE: 1/A4.1
- PIPE PENETRATION RE: 2/A4.1
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- A — ABANDONMENT TO BE REMOVED
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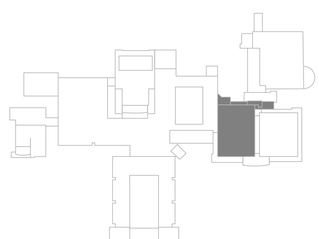
- 1/2" PER FOOT TAPERED SADDLE
- 1/4" PER FOOT TAPERED SADDLE
- 1/8" PER FOOT TAPERED SYSTEM
- 1/4" PER FOOT TAPERED SYSTEM

**MOTT HIGH SCHOOL NOTES:**

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING SLOPES.

| ROOF AREAS | ROOF ASSEMBLY (MEMBRANE TO DECK) |
|---|---|
| 30 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>TAPERED INSULATION SYSTEM: 1/4"/FT TAPERED POLYISOCYANURATE INSULATION SYSTEM, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 1.7" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |
| 37 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 1.7" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |
| 23 31 36 | MEMBRANE: BLACK, 60-MIL, REINFORCED EPDM MEMBRANE, FULLY ADHERED IN BONDING ADHESIVE<br>COVER BOARD: 1/2" DENSDECK PRIME COVER BOARD, ADHERED IN LOW-RISE FOAM<br>BASE INSULATION: 2 LAYERS OF 2.6" POLYISOCYANURATE INSULATION, ADHERED IN LOW-RISE FOAM<br>VAPOR RETARDER: VAPOR RETARDER ADHERED IN PRIMER<br>SUBSTRATE BOARD: 1/2" DENSDECK PRIME BOARD, MECHANICALLY ATTACHED |



## KEY PLAN

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WATERFORD SCHOOL DISTRICT

**Project**
**2025 WATERFORD SCHOOL DISTRICT**
**MOTT HIGH SCHOOL**
**ROOFING REPLACEMENT**

**Project Location**
**1151 SCOTT LAKE ROAD**
**WATERFORD TWP., MI 48328**

**Engineer's Seal**

**Revisions**

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|---|---|---|---|
| | BIDS | 02/26/2025 | KMD |

**Date**
02/26/2025

**SME Project No.**
098209.00

**Project Manager:**
K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
**ROOF PLAN**
**AREAS 23, 30, 31, 36, AND 37**

**Sheet No.**
**A1.4**



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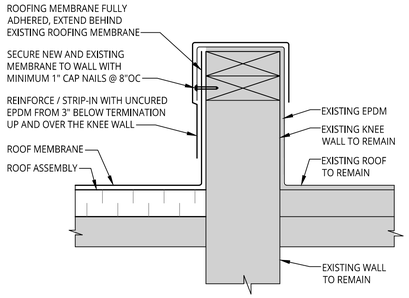
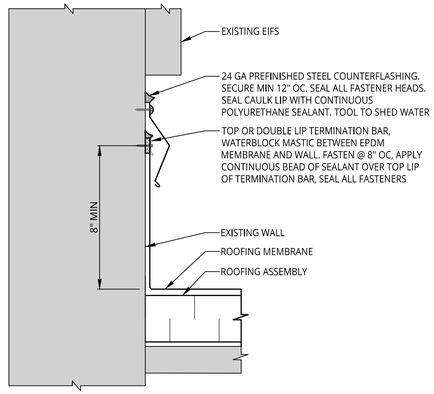
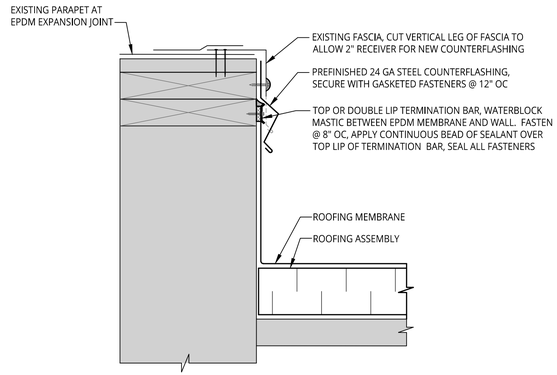


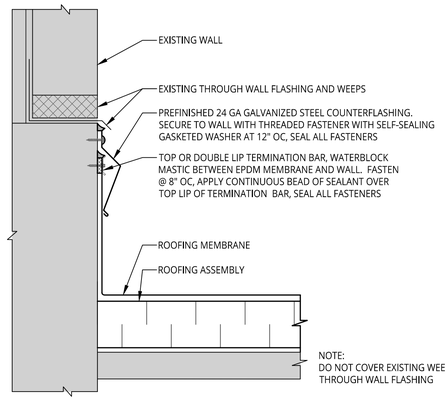

**9 / A1.1 KNEE WALL FLASHING**
NOT TO SCALE



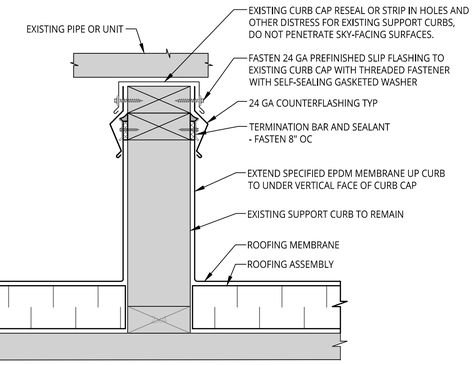

**8 / A1.1 EIFS SURFACE MOUNTED COUNTERFLASHING**
NOT TO SCALE



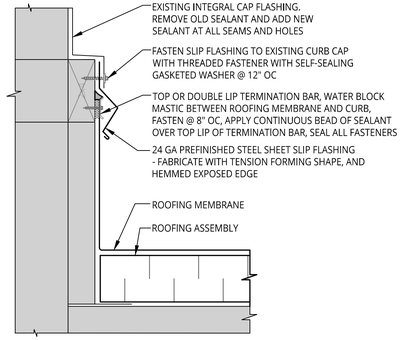

**7 / A1.1 COUNTERFLASHING AT EXISTING EPDM TRANSITION**
NOT TO SCALE



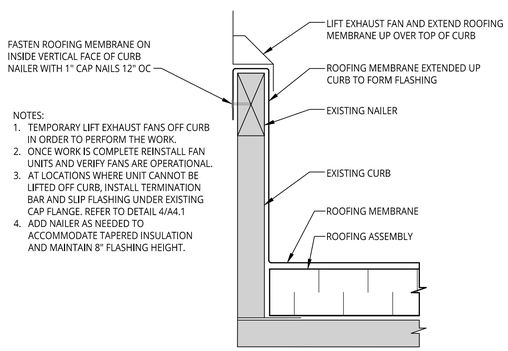

**6 / A1.2 SURFACE MOUNTED COUNTERFLASHING**
NOT TO SCALE



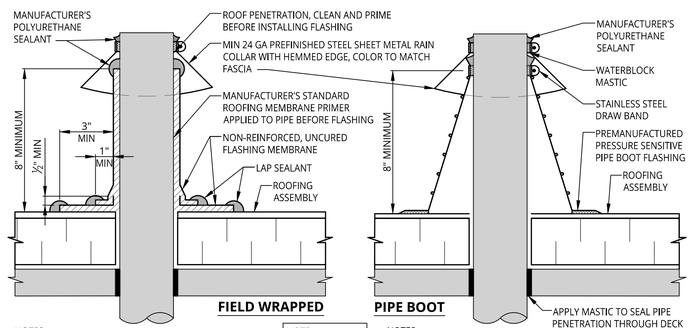

**5 / A1.3 SUPPORT CURB FLASHING**
NOT TO SCALE




**4 / A1.1 TYPICAL CURB WITH SLIP FLASHING**
NOT TO SCALE




**3 / A1.2 TYPICAL CURB UP AND OVER FLASHING**
NOT TO SCALE

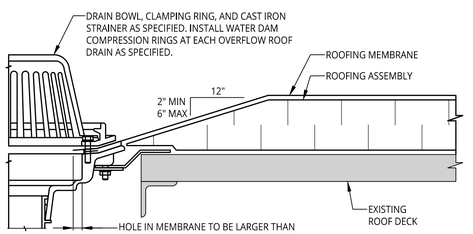



NOTES:
1. REMOVE ALL EXISTING FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
2. NAILER REQUIRED TO STABILIZE STEEL DECK AROUND ALL PIPES GREATER THAN 12" DIA.
3. MANUFACTURER'S PREFABRICATED PIPE BOOT MAY BE INSTALLED IN LIEU OF THIS DETAIL WHERE APPLICABLE.
4. DO NOT USE FOR HOT EXHAUST STACKS.
5. FASTENERS AROUND PIPES 4" DIA MAY BE OMITTED IF APPROVED BY ROOFING MEMBRANE MANUFACTURER.

NOTE:
CAN USE EITHER OF THESE DETAILS

NOTES:
1. THE USE OF LAP SEALANT TO SEAL TOP EDGE OF PIPE BOOT IS NOT PERMITTED. CONTRACTOR SHALL USE ROOFING MANUFACTURER'S MULTIPURPOSE POLYURETHANE SEALANT.
2. PIPE BOOTS ARE NOT TO BE APPLIED DIRECTLY TO HOT VENTS.
3. NAILERS REQUIRED TO STABILIZE STEEL DECK AT PENETRATIONS LARGER THAN 12" DIA.
4. FASTENERS MAY BE OMITTED AT PENETRATIONS LESS THAN 18" DIA OR AS OTHERWISE INDICATED BY THE ROOFING MANUFACTURER.

**2 / A1.2 PIPE PENETRATION FLASHING**
NOT TO SCALE




NOTES:
1. DO NOT RUN SEAMS THROUGH DRAINS OR SUMPS.
2. WHERE FIELD SEAMS ARE WITHIN 18" OF DRAINS, THEY SHALL BE STRIPPED IN WITH 5" WIDE UNCURED EPDM.
3. DRAIN AND OVERFLOW DRAIN HEIGHTS TO REMAIN AS-IS. INSTALL TAPERED INSULATION TO CREATE 4'x4' SUMP AROUND EACH ROOF DRAIN WITH MODIFICATIONS AS NEEDED AT EXPANSION JOINTS AND TIGHT SPACES.
4. AT EXISTING DRAIN LOCATIONS, REPLACE DRAIN PIPING TO FIRST CONTINUOUS STRETCH. DIAMETER TO MATCH EXISTING.

**1 / A1.1 ROOF DRAIN**
NOT TO SCALE

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**Project Location**
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**Engineer's Seal**

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**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
**FLASHING DETAILS**

**Sheet No.**
**A4.1**



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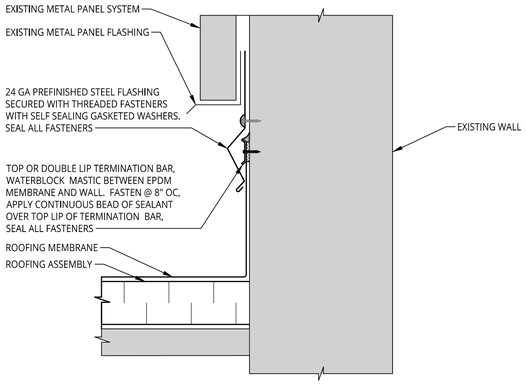
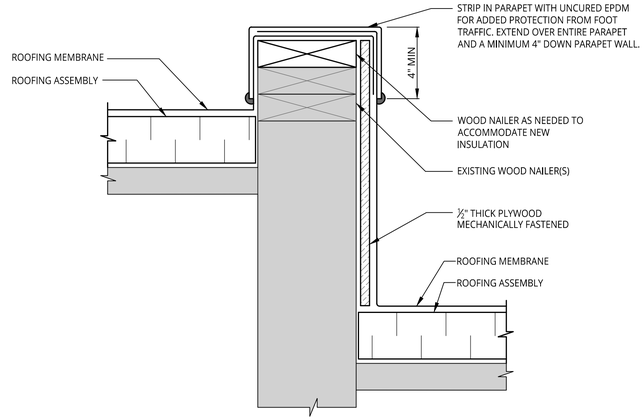
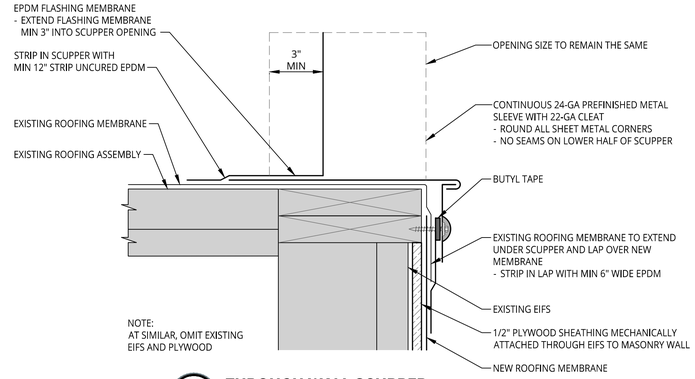


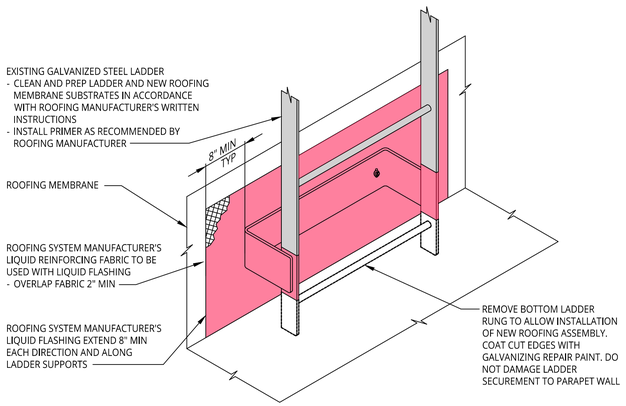

**9 / A1.4 BASE FLASHING AT METAL PANEL**
NOT TO SCALE



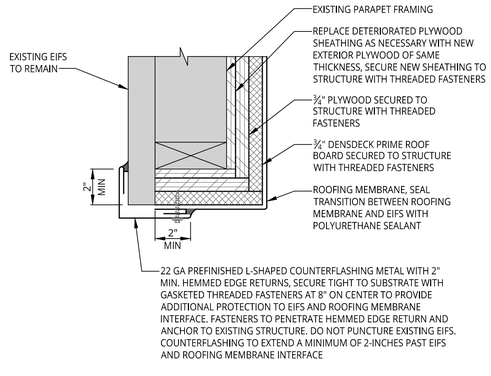

**8 / A1.1 ROOF TO ROOF TRANSITION**
NOT TO SCALE




**7 / A1.4 THROUGH WALL SCUPPER**
NOT TO SCALE

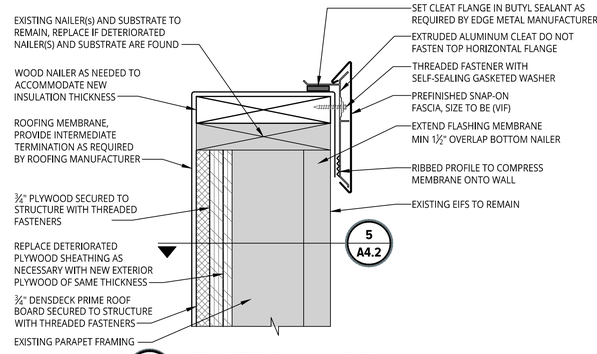



**6 / A1.1 LADDER SUPPORT - LIQUID FLASHING**
NOT TO SCALE

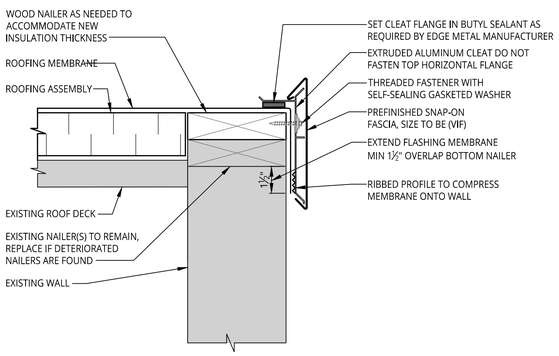



TOP VIEW

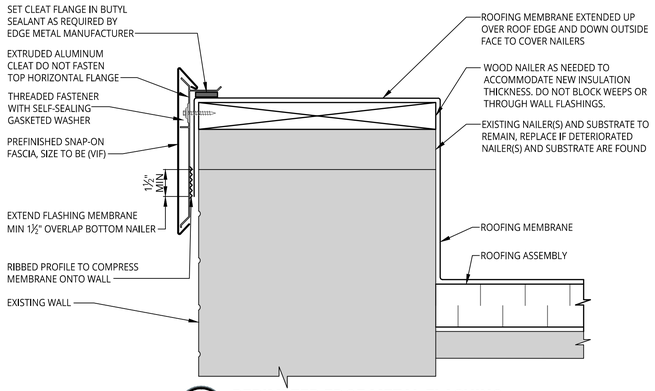
**5 / A1.1 PERIMETER FASCIA AT EIFS**
NOT TO SCALE



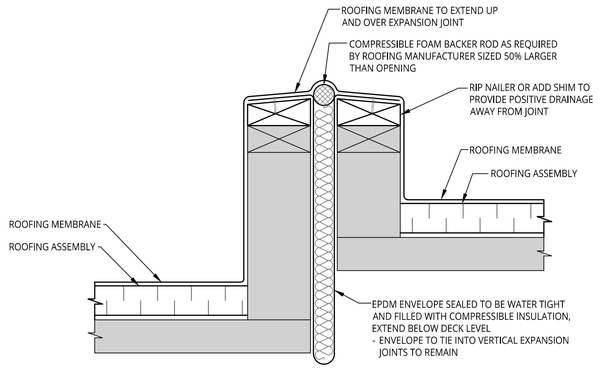

**4 / A1.1 PERIMETER FASCIA AT EIFS**
NOT TO SCALE




**3 / A1.1 PERIMETER FASCIA**
NOT TO SCALE




**2 / A1.1 PERIMETER EDGE METAL FLASHING**
NOT TO SCALE




NOTES:
1. ADD NEW NAILER(S) AS REQUIRED TO PROVIDE MINIMUM 8" FLASHING HEIGHT ABOVE FINISHED ROOF SURFACE.

**1 / A1.1 ROOF TO ROOF EXPANSION JOINT**
NOT TO SCALE

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WATERFORD SCHOOL DISTRICT

**Project**
**2025 WATERFORD SCHOOL DISTRICT**
**MOTT HIGH SCHOOL**
**ROOFING REPLACEMENT**

**Project Location**
**1151 SCOTT LAKE ROAD**
**WATERFORD TWP., MI 48328**

**Engineer's Seal**

**Revisions**

| REV | ISSUED FOR | DATE | BY |
|---|---|---|---|
| | BIDS | 02/26/2025 | KMD |

**Date**
02/26/2025

**SME Project No.**
098209.00

**Project Manager:**
K. DAMEROW

**Designer:**
T. ACORD

**CADD:**
J. NICHOLES

**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
**FLASHING DETAILS**

**Sheet No.**
**A4.2**



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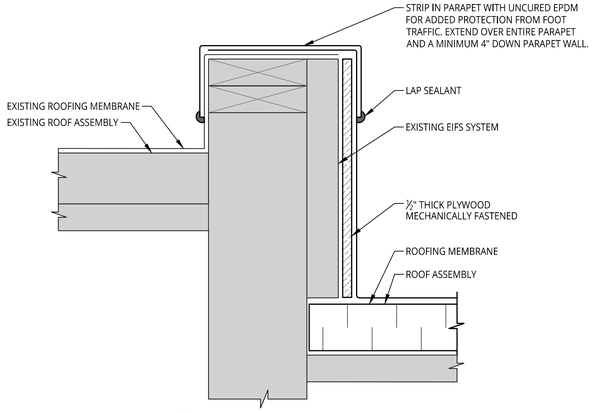
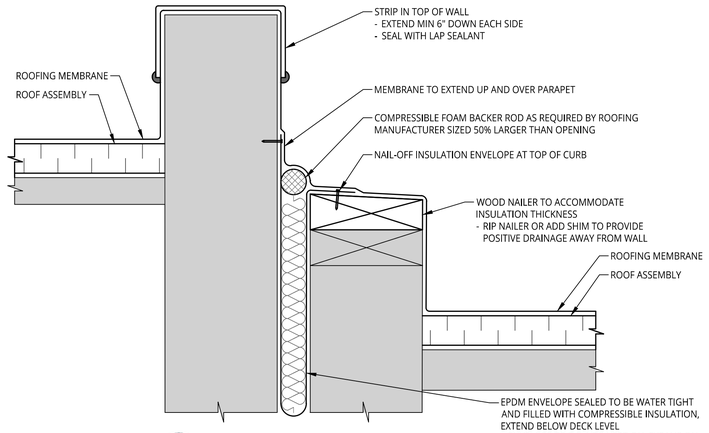
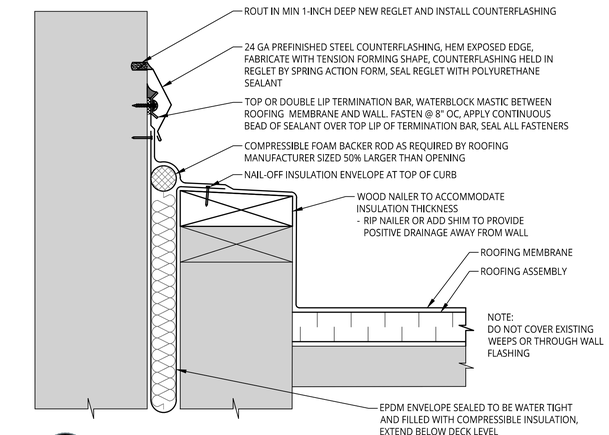


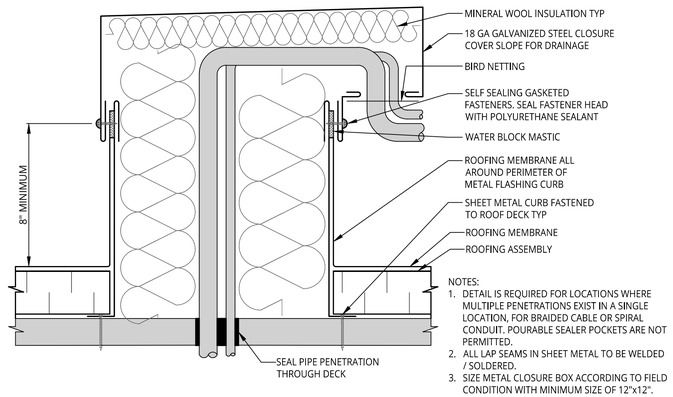

**6 A1.4 ROOF TO ROOF TRANSITION**
NOT TO SCALE




**5 A1.4 ROOF TO ROOF EXPANSION JOINT**
NOT TO SCALE

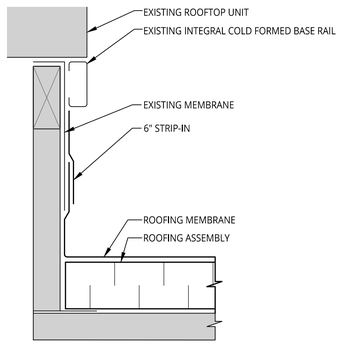



**4 A1.4 ROOF TO WALL EXPANSION JOINT**
NOT TO SCALE

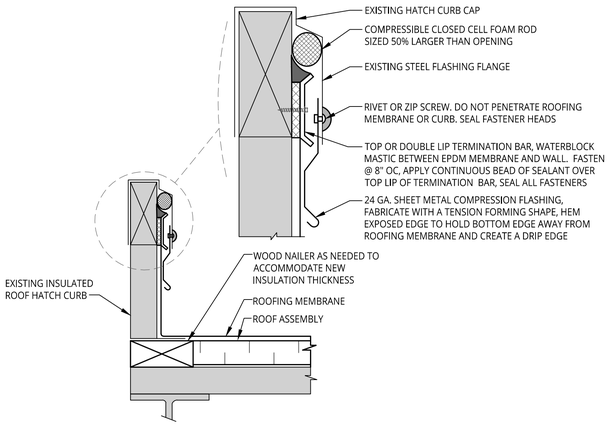



NOTES:
1. DETAIL IS REQUIRED FOR LOCATIONS WHERE MULTIPLE PENETRATIONS EXIST IN A SINGLE LOCATION, FOR BRAIDED CABLE OR SPIRAL CONDUIT. POURABLE SEALER POCKETS ARE NOT PERMITTED.
2. ALL LAP SEAMS IN SHEET METAL TO BE WELDED / SOLDERED.
3. SIZE METAL CLOSURE BOX ACCORDING TO FIELD CONDITION WITH MINIMUM SIZE OF 12"x12".

**3 A1.4 MULTIPLE PENETRATION FLASHING BOX WITH HOOD**
NOT TO SCALE




**2 A1.4 TYPICAL CURB WITH SLIP FLASHING WITH INTEGRAL BASE RAIL**
NOT TO SCALE




**1 A1.4 ROOF HATCH FLASHING**
NOT TO SCALE

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**Checked By:**
K. DAMEROW

**Reviewed By:**
A. CASSIDY

**Sheet Name:**
FLASHING DETAILS

**Sheet No.**
A4.3



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